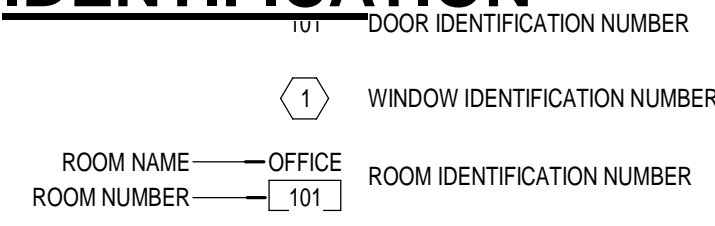




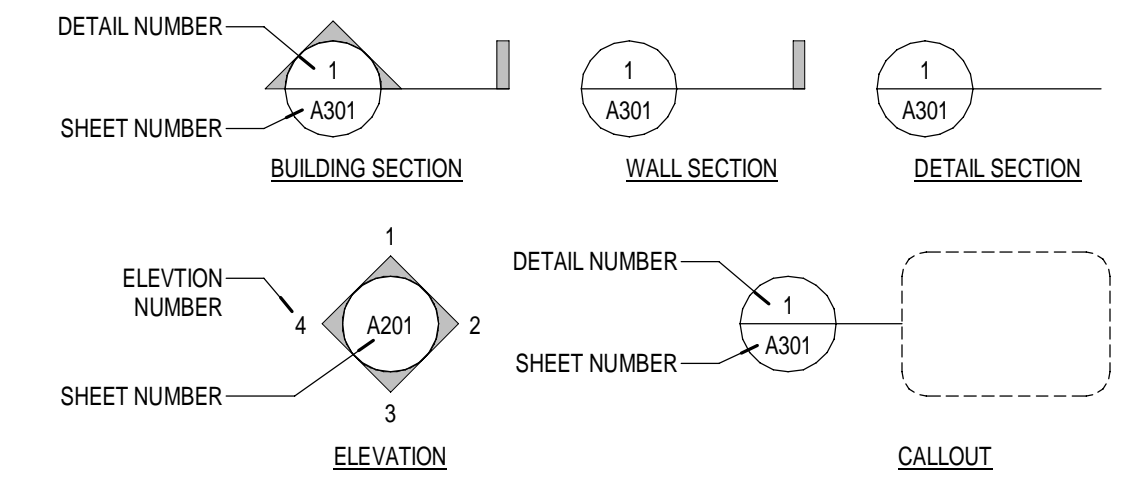
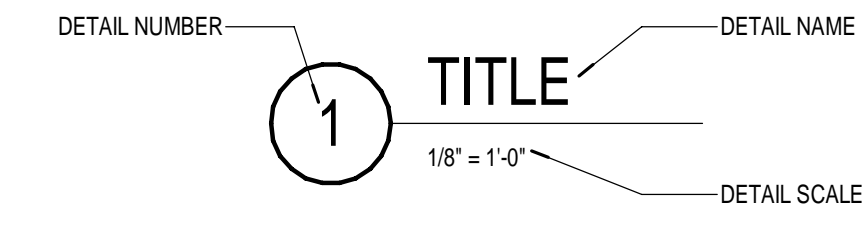
# ABBREVIATIONS

A/C	AIR CONDITIONING	EJ	EXPANSION JOINT	REIN	REINFORCE
AB	ANCHOR BOLT	ELEC	ELECTRICAL	RM	ROOM
AC	ACOUSTIC/ACOUSTICAL	ELEV	ELEVATION	RO	ROUGH OPENING
ACT	ACOUSTICAL CEILING TILE	EMER	EMERGENCY	LB	POUND
AFF	ABOVE FINISH FLOOR	EP	EPOXY	LEV	LEVEL
AHU	AIR HANDLING UNIT	EQ	EQUAL	LF	LINEAR FOOT/FEET
ALT	ALTERNATE	EQUIP	EQUIPMENT	LL	LIVE LOAD
ALUM	ALUMINUM	EW	EACH WAY	LT	LIGHT
APPROX	APPROXIMATE	EWC	ELECTRIC WATER COOLER	LTG	LIGHTING
ARCH	ARCHITECT/ARCHITECTURAL	EXP	EXPANSION	MATL	MATERIAL
		EXT	EXTERIOR	MAX	MAXIMUM
		EXTG	EXISTING	MECH	MECHANICAL
BBR	BASEBOARD RADIATION	FA	FIRE ALARM	MET	METAL
BD	BOARD	FD	FLOOR DRAIN	MFR	MANUFACTURER
BDRY	BOUNDARY	FDN	FOUNDATION	MIN	MINIMUM
BF	BARRIER FREE	FE	FIRE EXTINGUISHER	MISC	MISCELLANEOUS
BLDG	BUILDING	FEC	FIRE EXTINGUISHER CABINET	MO	MASONRY OPENING
BLKG	BLOCKING	FFE	FINISH FLOOR ELEVATION	MTD	MOUNTED
BM	BEAM	FIN	FINISHED		
BOT	BOTTOM	FLR	FLOOR	N	NORTH
BRG	BEARING	FT	FOOT OR FEET	NA	NOT APPLICABLE
BSMT	BASEMENT	FTG	FOOTING	NIC	NOT IN CONTRACT
				NTS	NOT TO SCALE
C/C	CENTER TO CENTER	GA	GAUGE	OIO	OUT TO OUT
CA	COMPRESSED AIR	GALV	GALVANIZED	OA	OVERALL
CB	CATCH BASIN	GB	GRAB BAR	OC	ON CENTER
CJ	CONTROL JOINT	GT	GROUT	OD	OUTSIDE DIAMETER
CL	CENTER LINE	GWB	GYPSTUM WALL BOARD	OH	OVERHEAD
CLG	CEILING			OPG	OPENING
CLR	CLEAR	HB	HOSE BIBB	OPP	OPPOSITE
CLT	CLOSET	HGT	HEIGHT	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT	HORIZ	HORIZONTAL	OZ	OUNCE
COL	COLUMN	HPDL	HIGH PRESSURE DECORATIVE LAMINATE		
CONC	CONCRETE	HTR	HEATER	PC	PRECAST
CONF	CONFERENCE	HVAC	HEATING / VENTILATION / AIR CONDITIONING	PL	PLATE
CONT	CONTINUOUS	HW	HOT WATER	PLAM	PLASTIC LAMINATE
CORR	CORRIDOR	ID	INSIDE DIAMETER	PNL	PANEL
CPT	CARPET	IF	INSIDE FACE	PNT	PAINT
CT	CERAMIC TILE	IN	INCH/INCHES	PR	PAIR
CW	COLD WATER	INSUL	INSULATION	PREFIN	PREFINISHED
		INT	INTERIOR	PSF	POUNDS PER SQUARE FOOT
DF	DRINKING FOUNTAIN	INV	INVERT	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	JAN	JANITOR	PT	PRESSURE TREATED
DIAG	DIAGONAL	JC	JANITOR CLOSET	PWD	PLYWOOD
DIM	DIMENSION	JST	JOIST	QT	QUARRY TILE
DL	DEAD LOAD	JT	JOINT	QTY	QUANTITY
DN	DOWN	KD	KNOCKDOWN	R	RADIUS
DR	DOOR	KOP	KNOCKOUT PANEL	RC	RESILIENT CHANNEL
DW	DISHWASHER	KP	KICKPLATE	RD	ROOF DRAIN
DWG	DRAWING			REF	REFRIDGERATOR
DWR	DRAWER				
E	EAST				
EA	EACH				
EF	EXHAUST FAN				
EIFS	EXTERIOR INSULATION FINISH SYSTEM				

# TAG IDENTIFICATION



# SYMBOL IDENTIFICATION



**ROOF REPLACEMENTS**  
**FILE NO.: 472/25256.JBB**  
**MDOC / ALGER CORRECTIONAL FACILITY**  
**INDUSTRIAL PARK DRIVE, WETMORE, MI 49895**

<b>ISSUED FOR:</b>	100% OWNER REVIEW	<b>DATE:</b>	02/27/2026
	LARA REVIEW		02/27/2026
	BIDDING		03/20/2026

<b>ROOF REPLACEMENTS</b>	
<b>MDOC / ALGER CORRECTIONAL FACILITY</b>	
PROJECT NO: M12-06112	DESIGNED BY: RWA
	DRAWN BY: RWA
	CHECKED: JHR
	APPROVED: RWA

## ABBREVIATIONS AND SYMBOLS

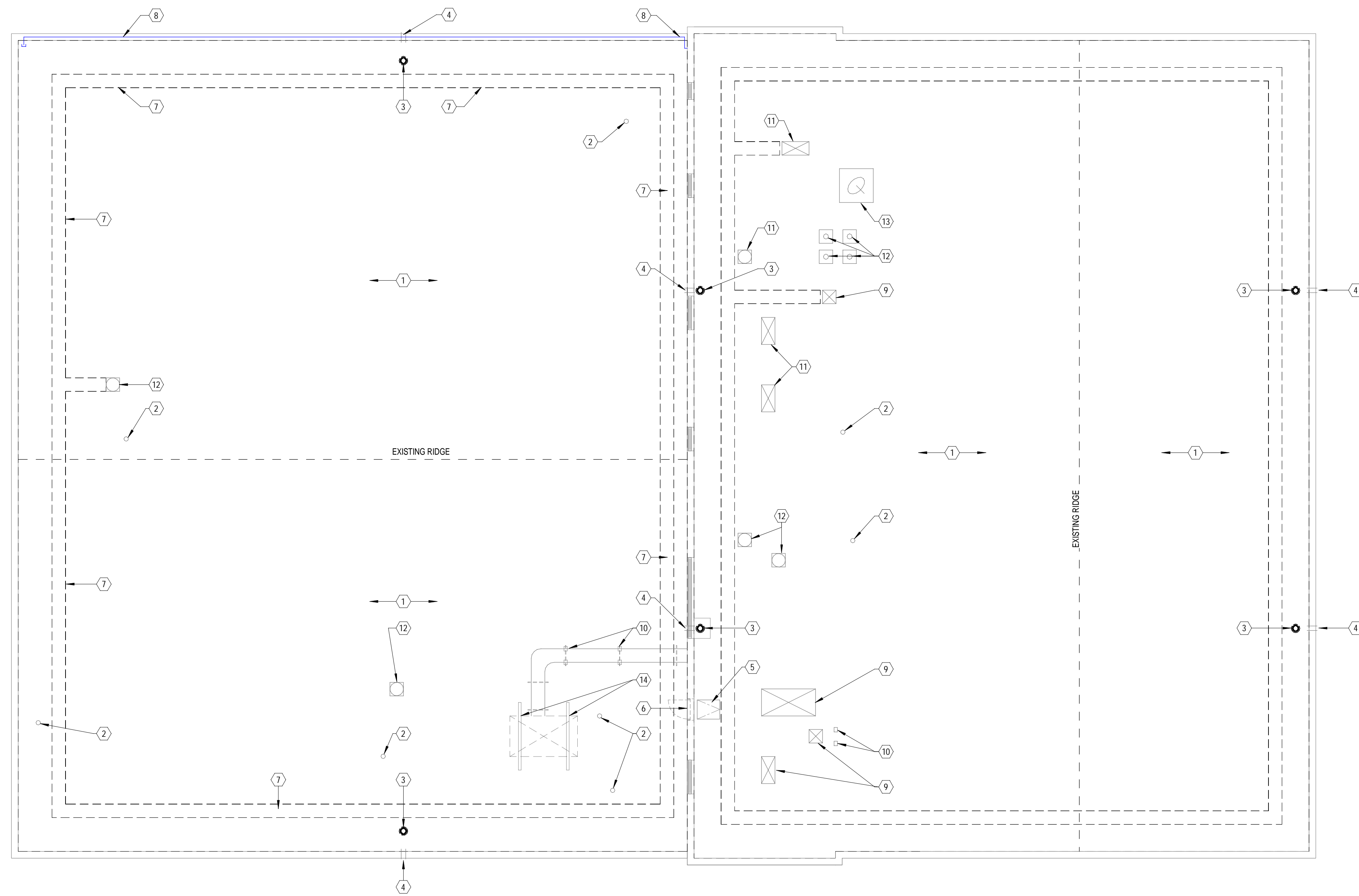
**G002**

**ROOF DEMOLITION AND GENERAL CONSTRUCTION NOTES**

- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER.
- WORK LABELED NOT IN CONTRACT (NIC), OR OTHERWISE NOT NOTED, IS NOT IN CONTRACT FOR ANY ARCHITECTURAL IMPROVEMENTS.
- GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS WITH CONDITIONS SHOWN IN THE CONTRACT DOCUMENTS AND SHALL REPORT ANY DEVIATIONS, DISCREPANCIES AND / OR CONFLICTS TO THE ARCHITECT.
- EXISTING ROOF DRAIN SYSTEMS ARE TO REMAIN FULLY OPERATIONAL / FUNCTIONAL DURING THE RE-ROOFING AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION DURING DEMOLITION AND RENOVATION ACTIVITIES.
- EXISTING ROOF DRAINS ARE TO BE CLEANED AND MAINTAINED FREE OF DEBRIS DURING RE-ROOFING. ALL DRAIN DOWNS / CAPS TO BE RE-INSTALLED.
- EXISTING ROOFING SYSTEM IS TO BE REMOVED DOWN TO THE INSULATION. PREPARE SURFACE FOR NEW ROOFING SYSTEM.
- EXISTING ROOF PENETRATIONS TO REMAIN. IN THE EVENT THAT ANY EXISTING VENT PIPING, STRUCTURAL SUPPORTS & MECHANICAL EQUIPMENT WILL NOT BE RE-USED, ITEMS ARE TO BE REMOVED AND DISCARDED. REPAIR ROOF DECKING / INSULATION AND INSTALL NEW ROOFING SYSTEM.
- PERFORM REMEDIAL REPAIRS AS NECESSARY TO EXISTING ROOF PENETRATIONS, PENETRATION POCKETS, VENT PIPING, CONDUIT AND ROOF CURBS THAT ARE TO REMAIN TO RECEIVE NEW ROOFING SYSTEM.
- INSPECT EXISTING ROOFING INSULATION AND COVER BOARD AND REPORT ANY INSULATION SATURATION, BLISTERS, BUCKLES, OR OTHER SURFACE IRREGULARITIES TO THE ARCHITECT.
- EXISTING MISCELLANEOUS DEBRIS, ETC. ON THE ROOF IS TO BE REMOVED AND DISCARDED ON A DAILY BASIS. COORDINATE DISPOSAL WITH OWNER.
- ALL DIMENSIONS, EQUIPMENT, PIPES, ETC. ARE TO BE FIELD VERIFIED.
- CONTRACTOR SHALL ENSURE PROPER STORAGE OF ANY MATERIALS / EQUIPMENT INTENDED TO BE RE-USED OR RE-INSTALLED. ANY MISSING OR DAMAGED ITEMS DUE TO IMPROPER STORAGE, OR BY CONTRACTORS ACTIVITIES, SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROOFING AT ALL TIMES, SUCH THAT THE BUILDING SHALL REMAIN OCCUPIED AND OPERATIONAL AND IN WEATHERTIGHT CONDITION DURING DEMOLITION AND RE-ROOFING.

**DEMOLITION KEYNOTES**

- REMOVE EXISTING ROOFING MEMBRANE DOWN TO INSULATION. INSPECT INSULATION PRIOR TO INSTALLING NEW ROOFING MEMBRANE AND REPORT ANY SATURATED INSULATION, DISCREPANCIES AND / OR CONFLICTS TO THE ARCHITECT.
- EXISTING MECHANICAL / PLUMBING VENT TO REMAIN.
- EXISTING ROOF DRAIN TO BE REPLACED WITH NEW CAST IRON ROOF DRAIN. IF CAST IRON IS NOT AVAILABLE, RE-USE EXISTING CAST IRON ROOF DRAIN.
- EXISTING OVERFLOW SCUPPER TO REMAIN (APPRX. 8" WIDE x 4" TALL).
- EXISTING ROOF ACCESS HATCH TO REMAIN.
- EXISTING (WALL MOUNTED) ROOF ACCESS DOOR TO REMAIN.
- REMOVE AND DISPOSE OF EXISTING 24" x 24" x 2" THICK CONCRETE PAVERS.
- EXISTING PARAPET MOUNTED ELECTRICAL CONDUIT (FOR FUTURE CAMERA) TO REMAIN.
- EXISTING ROOF VENTILATOR UNIT w/ CURB TO REMAIN.
- EXISTING HVAC SUPPORT CURBS TO REMAIN.
- EXISTING MECHANICAL UNIT w CURB TO REMAIN.
- EXISTING EXHAUST VENT TO REMAIN. EXTEND VENT TO 1'-4" (MIN) ABOVE FINISHED ROOF. TYPICAL AT ALL VENT PIPES.
- EXISTING METAL SATELLITE DISH FRAME w/ 3" CONDUIT TO REMAIN.
- EXISTING ROOF MOUNTED HVAC EQUIPMENT ON CURBS TO REMAIN.



**WAYFINDING KEYNOTE LEGEND**

- SALLY PORT ENTRY GATE
- SECURITY GATE
- HOUSING UNIT 6 - SPRUCE
- BUILDING 300 ROOFS

\* = APPROXIMATE LOCATION FOR BUILDING ACCESS LOCATIONS DURING CONSTRUCTION

**A1 DEMOLITION ROOF PLAN**  
1" = 10'-0"



**WAYFINDING MAP**  
NO SCALE

**ROOF REPLACEMENTS**  
FILE NO.: 472/25256.JBB  
MDOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

ISSUED FOR:	DATE:
50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

ROOF REPLACEMENTS	DESIGNED BY:
MDOC / ALGER CORRECTIONAL FACILITY	RWA
PROJECT NO: M12-06112	RWA
	JHR
	RWA

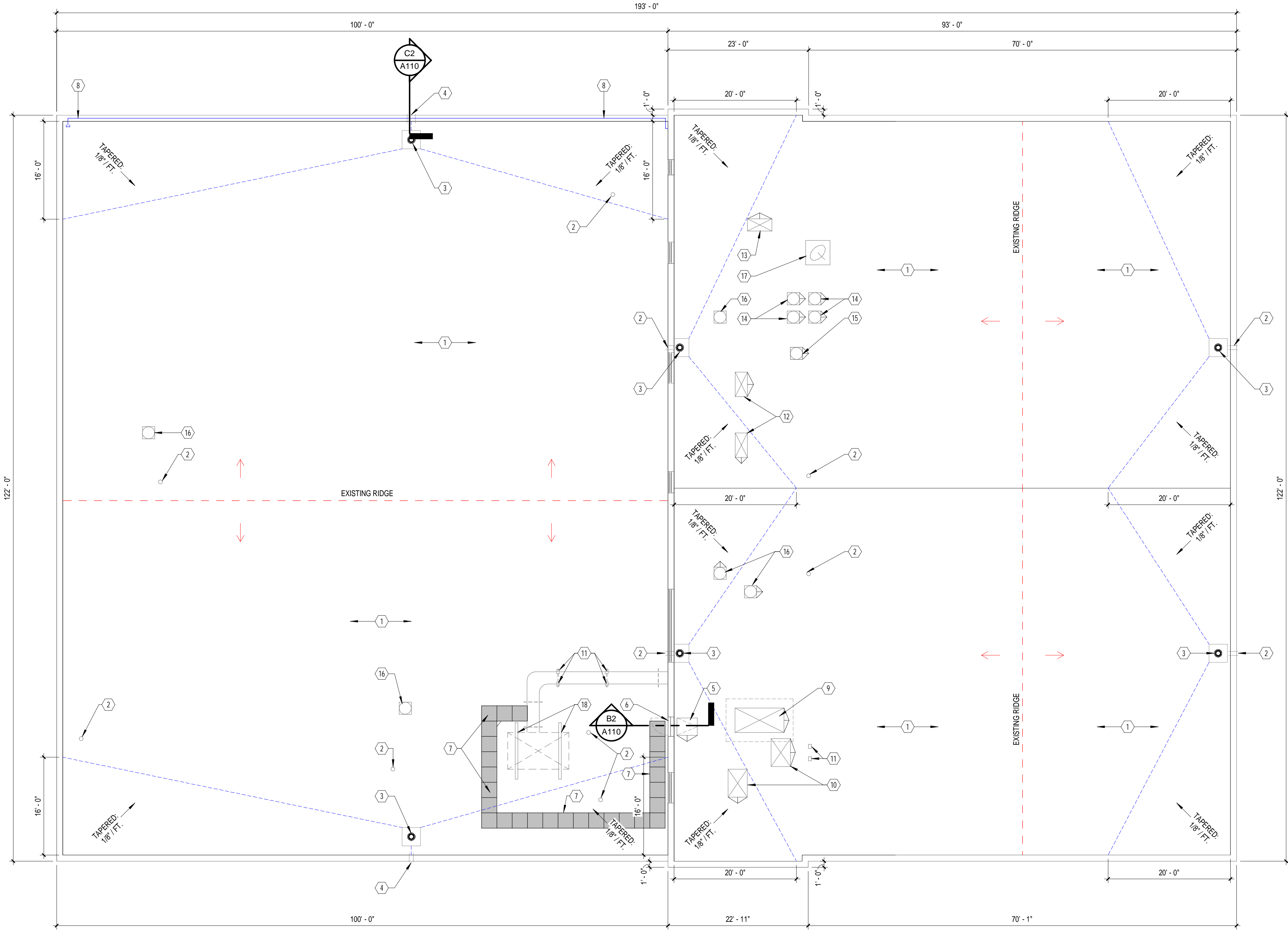
**300 BUILDING - DEMOLITION ROOF PLAN**

**A100**



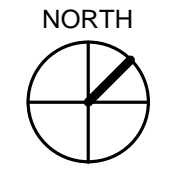
- GENERAL CONSTRUCTION NOTES**
- ALL DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS.
  - CONTRACTOR SHALL COORDINATE WITH OWNER PLACEMENT OF DUMPSTER AND LOCATION OF STAGING AREA.
  - CONTRACTOR IS REQUIRED TO REMOVE ALL DEBRIS AND TO RESTORE ALL SITE FEATURES, INCLUDING WALKS, DRIVES AND GRASS AREAS, DISTURBED BY THEIR WORK.
  - CONTRACTOR SHALL VERIFY NUMBER AND LOCATION OF ALL VENT STACKS, ROOF STRUCTURES, ROOF DRAINS, CONDUIT AND ANY OTHER OBJECTS OR OBSTRUCTIONS ON THE ROOF THAT WILL AFFECT THE WORK.
  - ALL EXISTING CONCRETE WALKWAY PADS ARE TO BE REMOVED BY THE CONTRACTOR AND TO BECOME THE PROPERTY OF THE CONTRACTOR.
  - ALL ROOF DRAINS SHALL REMAIN FULLY OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. DRAWINGS ARE DIAGRAMMATICAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND OBSTRUCTIONS THAT MAY AFFECT THE WORK.
  - PROVIDE NEW PREFINISHED METAL FASCIAS AT PERIMETER OF ALL NEW WORK.
  - SADDLES SHALL BE PROVIDED IN VALLEYS BETWEEN ROOF DRAINS.
  - ROOF CRICKETS SHOULD BE LOCATED ON THE HIGH SIDE OF CURBS.
  - SLOPES SHOWN ARE EXISTING. CONTRACTOR TO VERIFY IN FIELD.
  - MEMBRANE SHALL BE SINGLE PLY, 60-MIL, FULLY ADHERED ROOFING MEMBRANE, COLOR BLACK.
  - ALL SYSTEM MATERIALS SHALL BE APPROVED BY THE MANUFACTURER.
  - INSTALLING CONTRACTOR SHALL BE A QA MASTER CONTRACTOR, AS CERTIFIED BY THE MANUFACTURER FOR THEIR PROVEN EXPERIENCE AND HIGH QUALITY INSTALLATIONS.
  - ALL OTHER CONDITIONS OF SPECIFICATION 07 53 03 SHALL APPLY.

- PROPOSED ROOF KEYNOTES**
- PROPOSED MULTIPLY FULLY ADHERED 60 MIL REINFORCED RUPTURE RESISTANT EPDM MEMBRANE INSTALLED OVER EXISTING RIGID INSULATION AND EXISTING SLOPED METAL DECK.
  - EXISTING MECH / PLUMB VENT TO REMAIN. PROVIDE NEW BOOT, CLAMPING RING, AND SEALANT.
  - EXISTING ROOF DRAIN TO BE REPLACED. PROVIDE NEW ROOF DRAIN, DOME, AND CLAMPING RING, TYPICAL.
  - EXISTING OVERFLOW SCUPPER TO REMAIN (APPROX. 8" WIDE x 4" HIGH).
  - EXISTING ROOF ACCESS HATCH TO REMAIN.
  - EXISTING (WALL MOUNTED) ROOF ACCESS DOOR TO REMAIN.
  - PROPOSED 30" x 30" EPDM WALKWAY PADS.
  - EXISTING PARAPET MOUNTED ELECTRICAL CONDUIT (FOR FUTURE CAMERA) TO REMAIN.
  - EXISTING ROOF VENTILATOR UNIT w/ 103" x 55" x 12" TALL CURB TO REMAIN.
  - EXISTING ROOF VENTILATOR UNIT w/ 38" x 55" x 12" TALL CURB TO REMAIN.
  - EXISTING 6" x 4" HVAC SUPPORT CURBS TO REMAIN.
  - EXISTING MECHANICAL HVAC UNIT w/ 44" x 24" x 12" TALL CURB TO REMAIN.
  - EXISTING MECHANICAL HVAC UNIT w/ 44" x 20" x 12" TALL CURB TO REMAIN.
  - EXISTING 9"Ø EXHAUST VENT TO REMAIN.
  - EXISTING EXHAUST VENT w/ 20" x 20" x 12" TALL CURB TO REMAIN.
  - EXISTING EXHAUST VENT w/ 20" x 20" x 10" TALL CURB TO REMAIN.
  - EXISTING METAL SATELLITE DISH FRAME w/ 3" CONDUIT TO REMAIN. COMPONENTS SHALL REMAIN ACTIVE DURING THE ROOF REPLACEMENT PROCESS.
  - EXISTING ROOF MOUNTED HVAC EQUIPMENT ON CURBS TO REMAIN. TEMPORARILY DISCONNECT POWER & DUCTWORK AS REQUIRED DURING THE ROOF REPLACEMENT PROCESS. REINSTALL CURBS IN SAME LOCATION AND RECONNECT POWER & DUCTWORK.



- WAYFINDING KEYNOTE LEGEND**
- ① SALLY PORT ENTRY GATE
  - ② SECURITY GATE
  - ③ HOUSING UNIT 6 - SPRUCE
  - ④ BUILDING 300 ROOFS
- \* = APPROXIMATE LOCATION FOR BUILDING ACCESS LOCATIONS DURING CONSTRUCTION

**A1 PROPOSED ROOF PLAN**  
1" = 10'-0"



**WAYFINDING MAP**  
NO SCALE

**ROOF REPLACEMENTS**  
FILE NO.: 472/25256.JBB  
MDOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

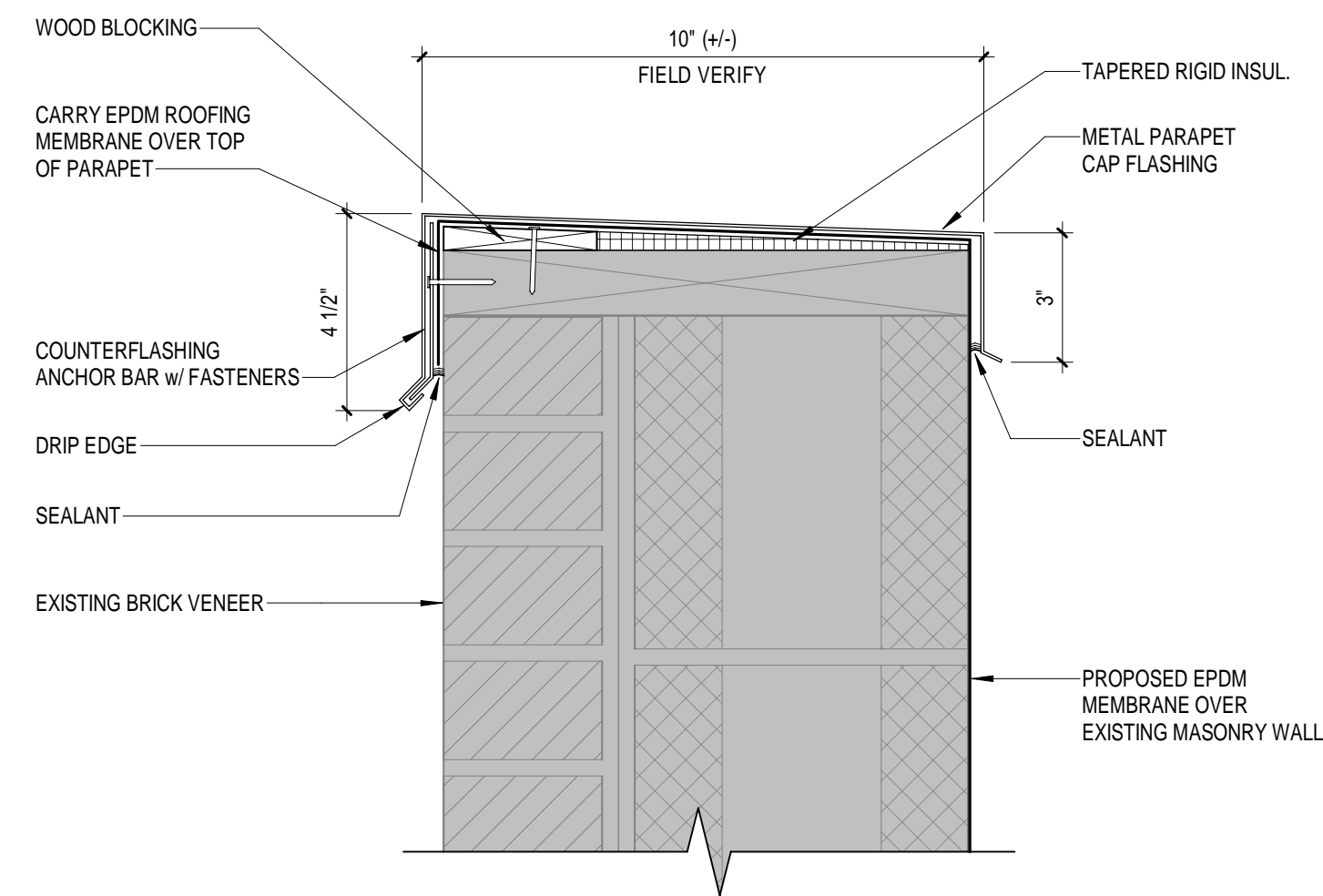
ISSUED FOR:	DATE:
50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

ROOF REPLACEMENTS	DESIGNED BY:
MDOC / ALGER CORRECTIONAL FACILITY	RWA
PROJECT NO: M12-06112	RMVA
DRAWN BY:	JHR
CHECKED:	RWA
APPROVED:	

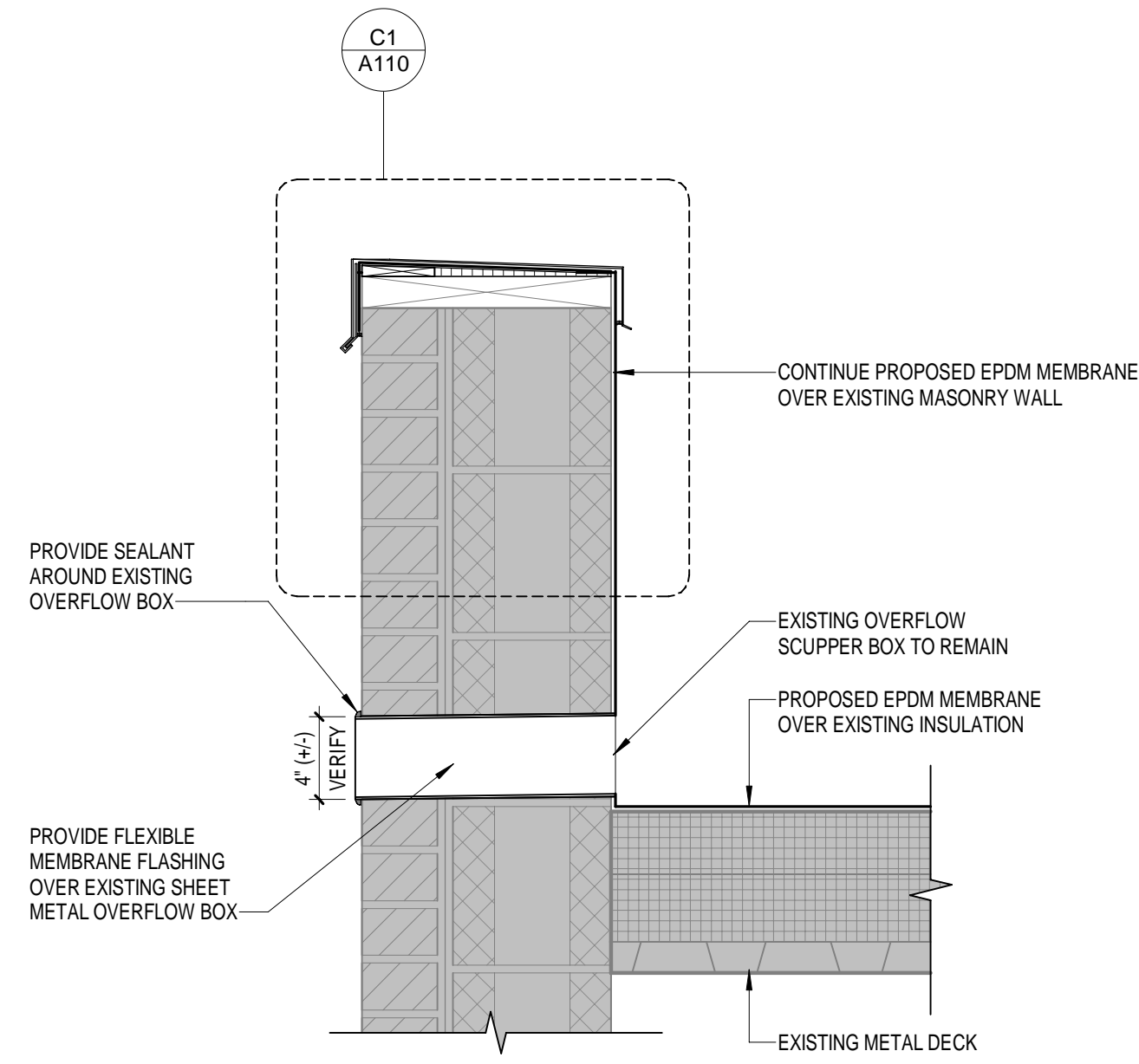
**300 BUILDING - PROPOSED ROOF PLAN**

**A101**

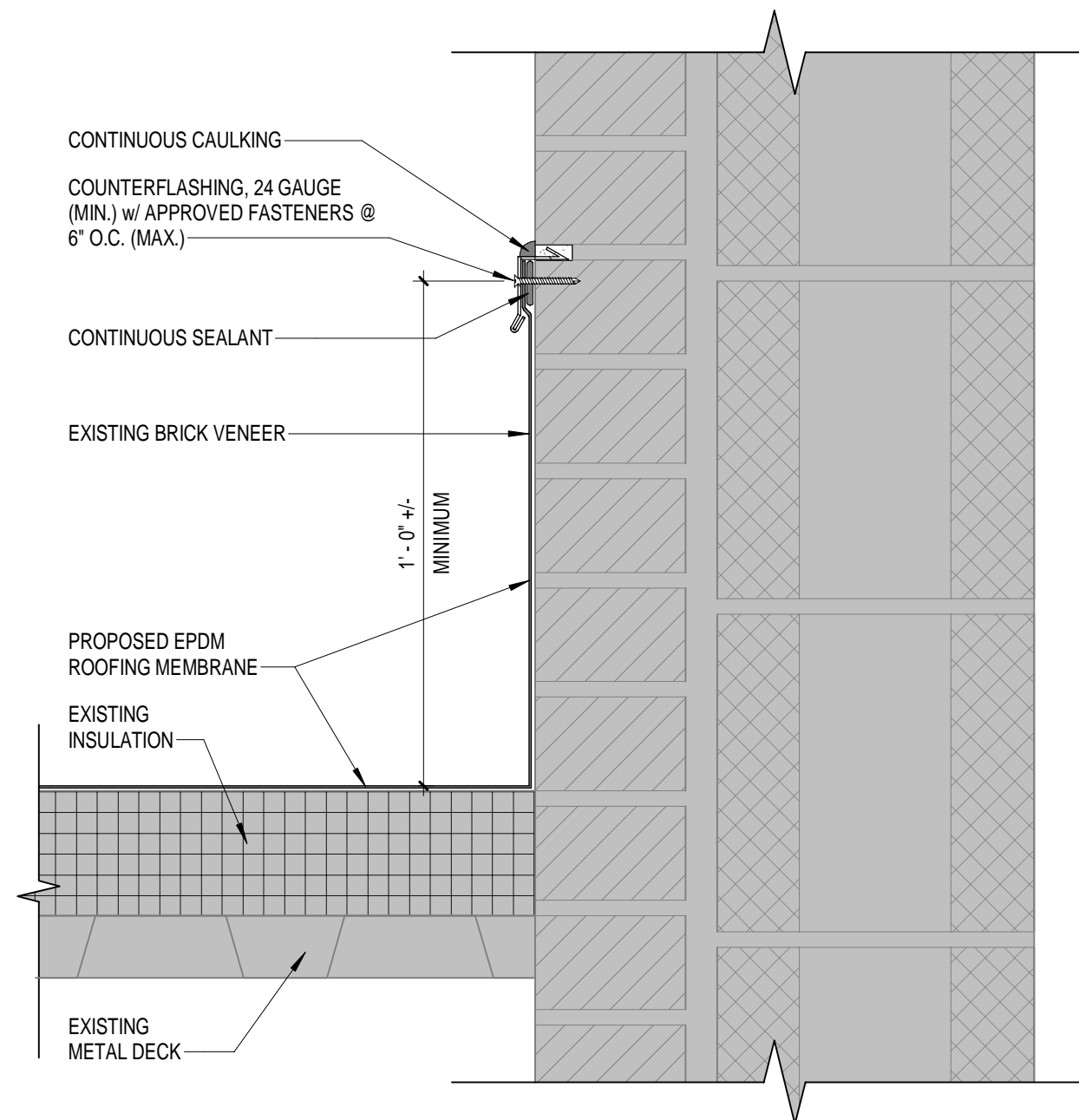




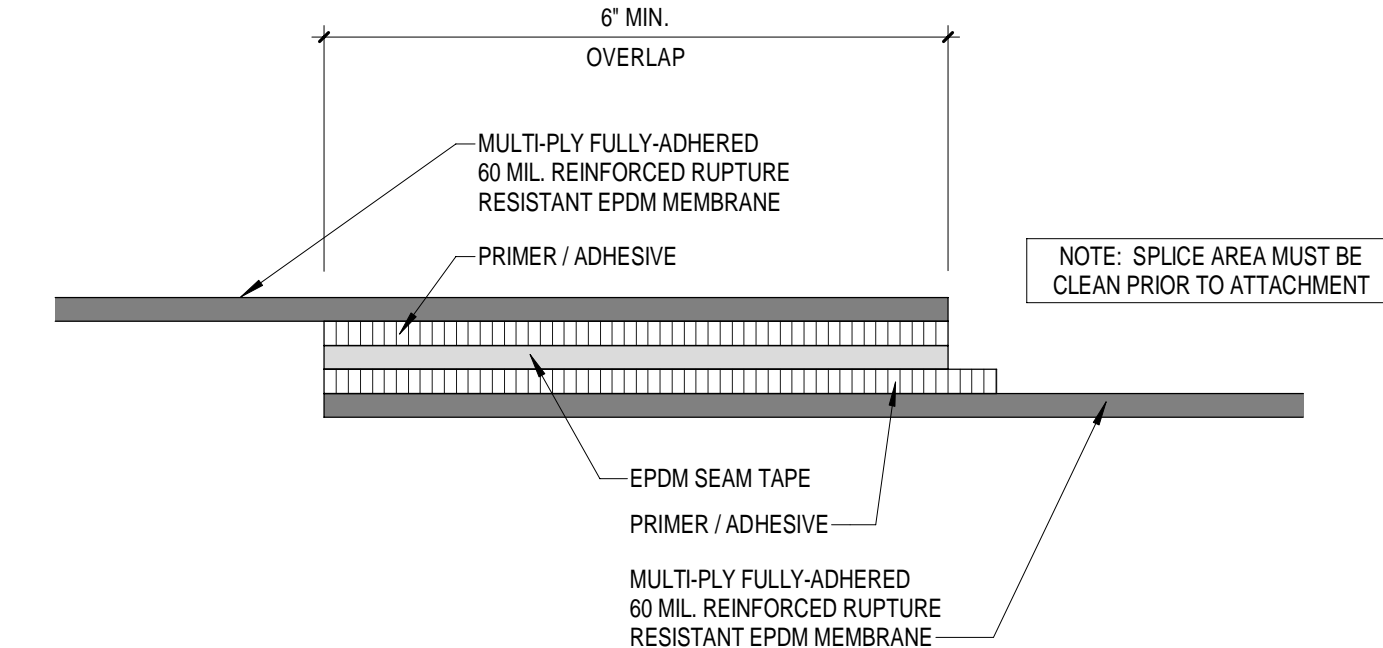
**C1 TYPICAL PARAPET DETAIL**  
3" = 1'-0"



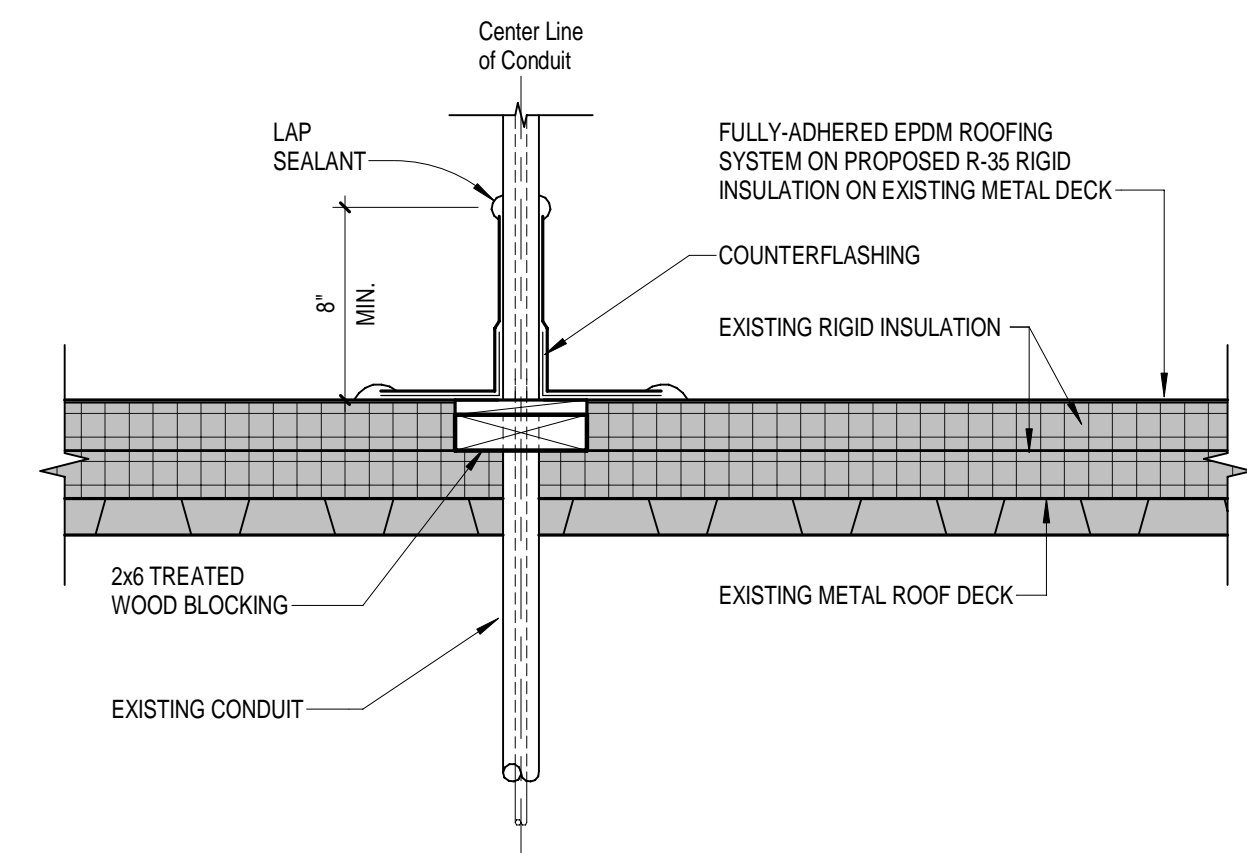
**C2 WALL SECTION @ SCUPPER**  
1 1/2" = 1'-0"



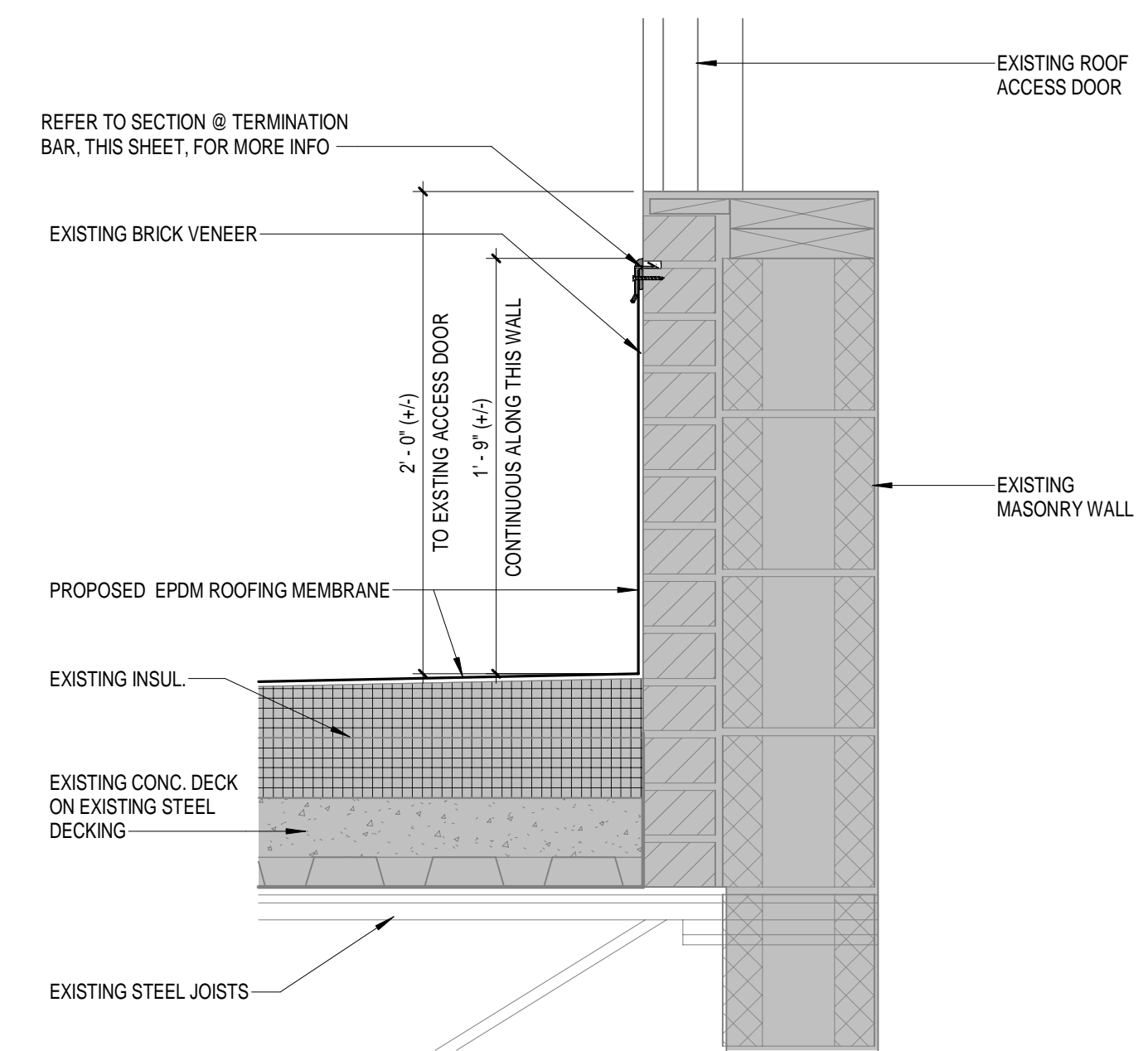
**C3 SECTION @ TERMINATION BAR**  
3" = 1'-0"



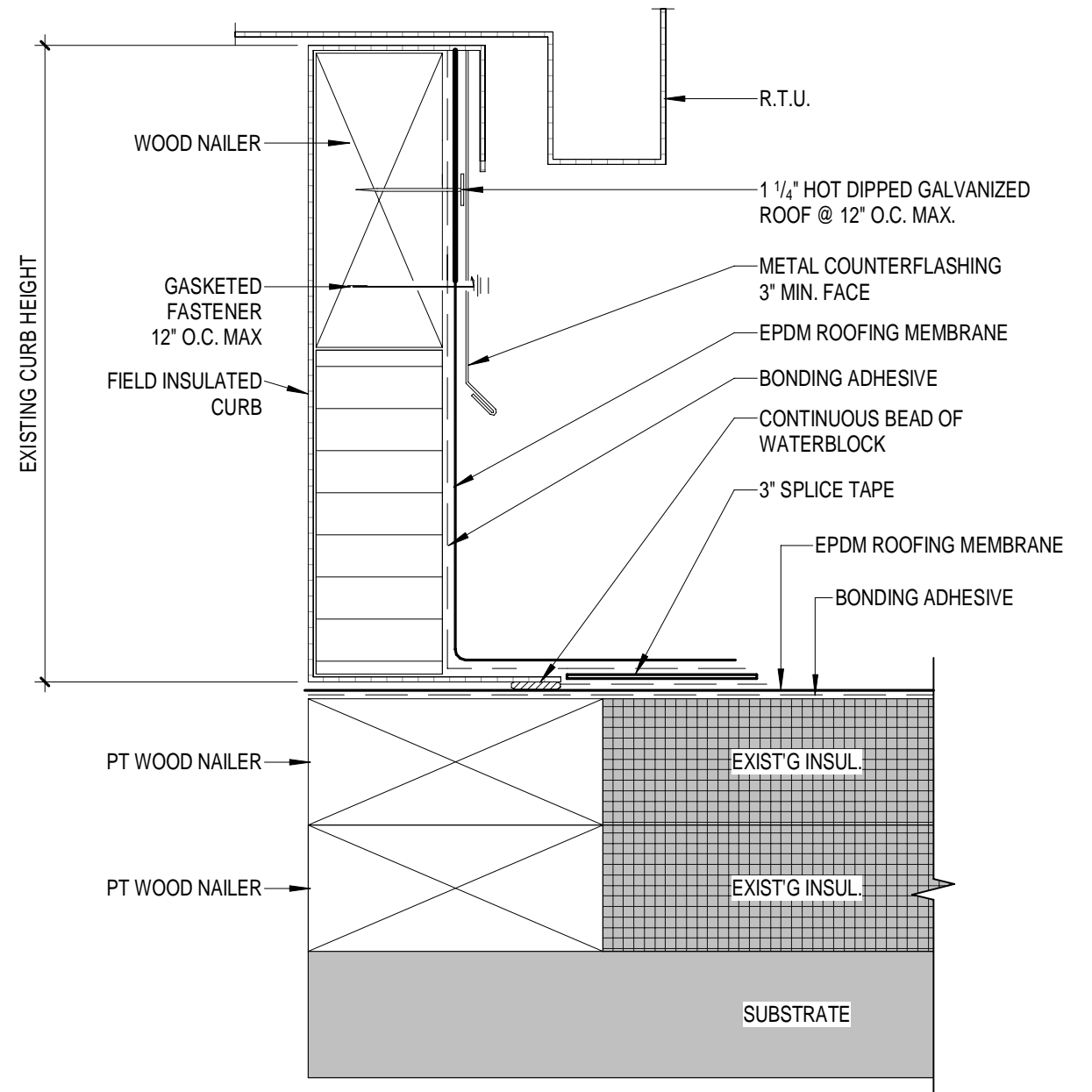
**D5 EPDM SEAM DETAIL**  
6" = 1'-0"



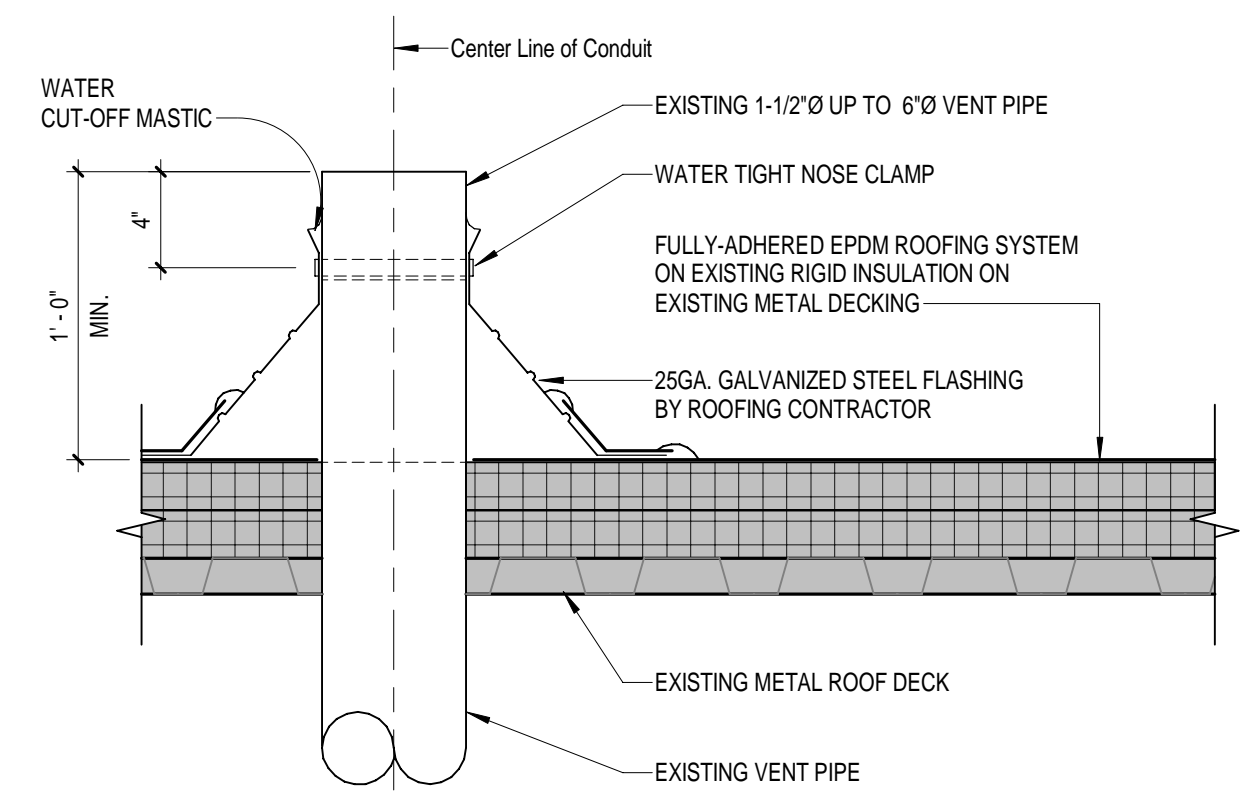
**C5 ROOF CONDUIT PENETRATION DETAIL**  
1 1/2" = 1'-0"



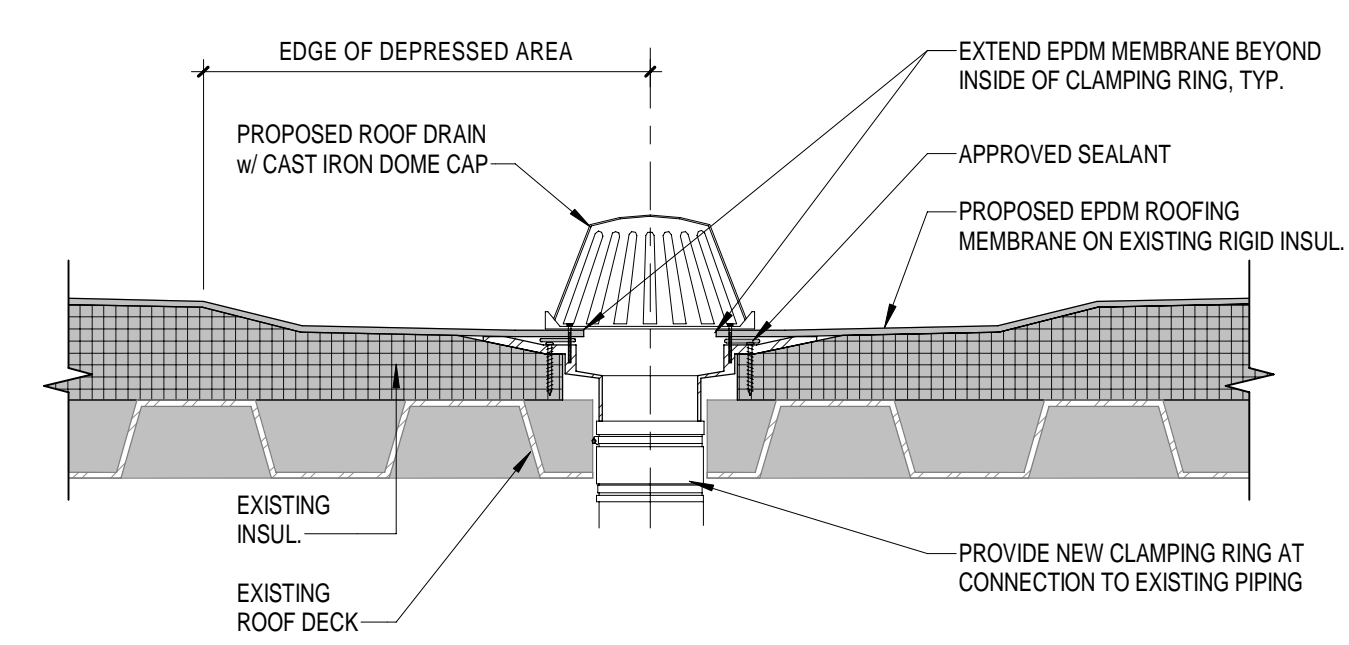
**B2 SECTION @ ROOF ACCESS**  
1 1/2" = 1'-0"



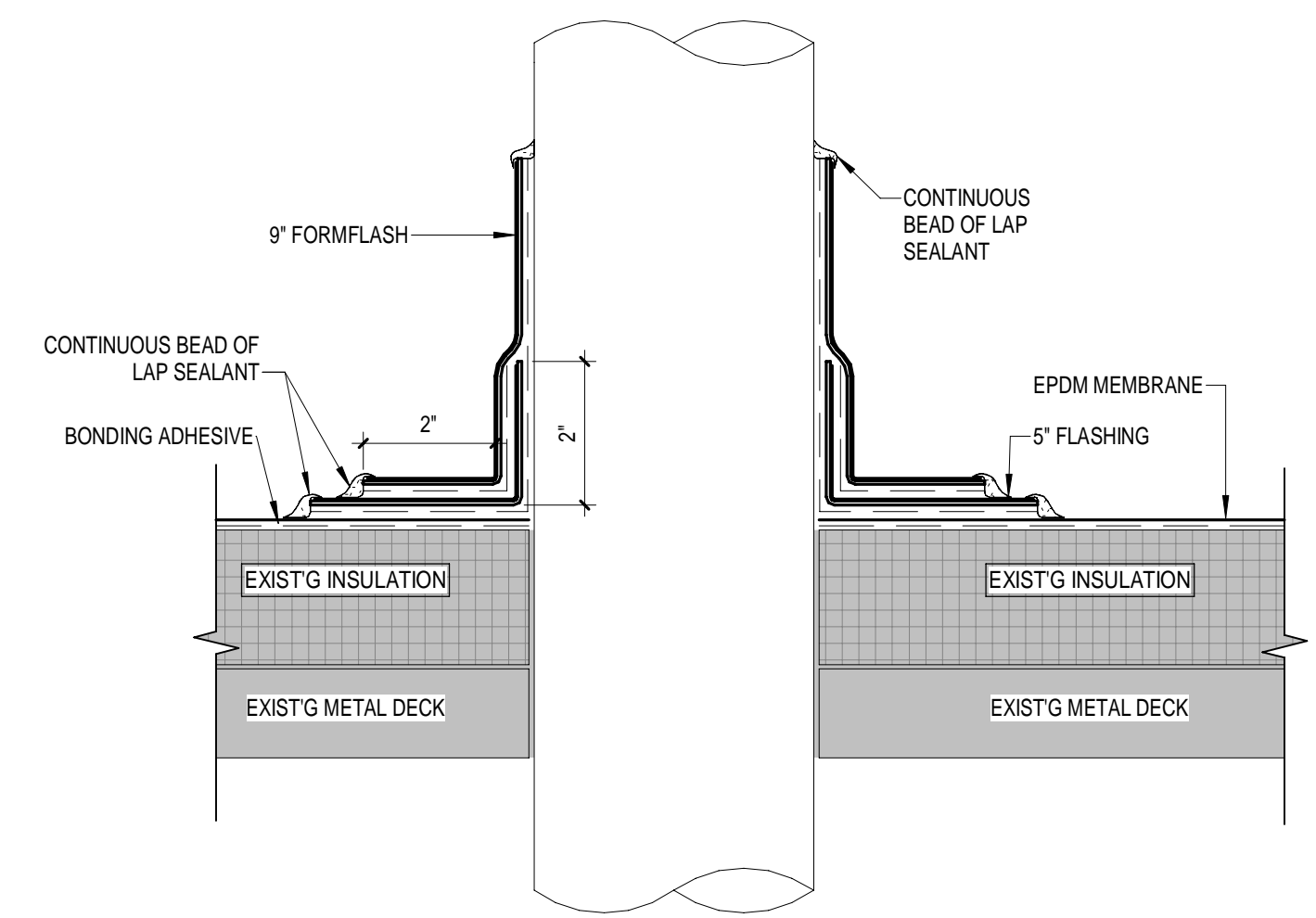
**B3 TYPICAL ROOF CURB DETAIL**  
6" = 1'-0"



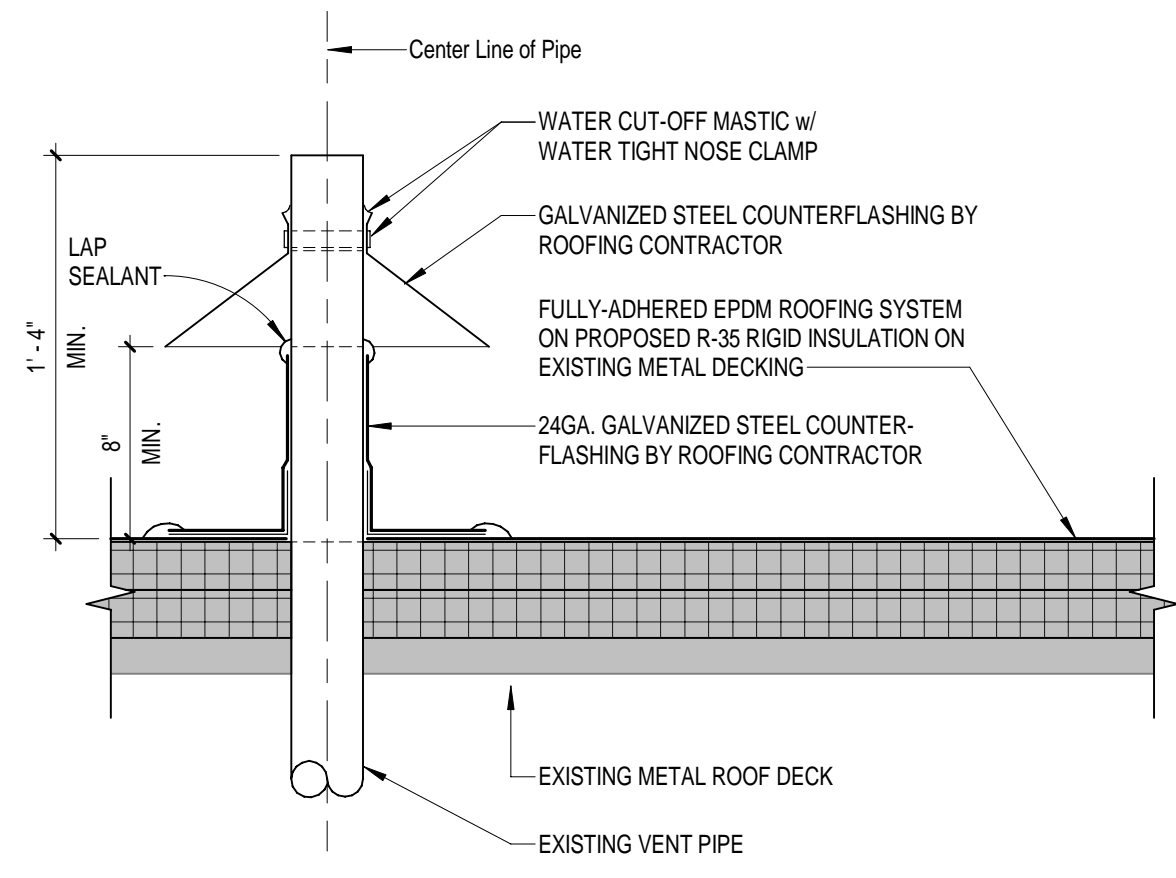
**B5 ROOF DETAIL @ LARGE VENT PIPE**  
1 1/2" = 1'-0"



**A2 SECTION @ ROOF DRAIN**  
3" = 1'-0"



**A3 TYPICAL VENT THROUGH ROOF DETAIL**  
6" = 1'-0"



**A5 ROOF DETAIL @ SMALL VENT PIPE**  
1 1/2" = 1'-0"



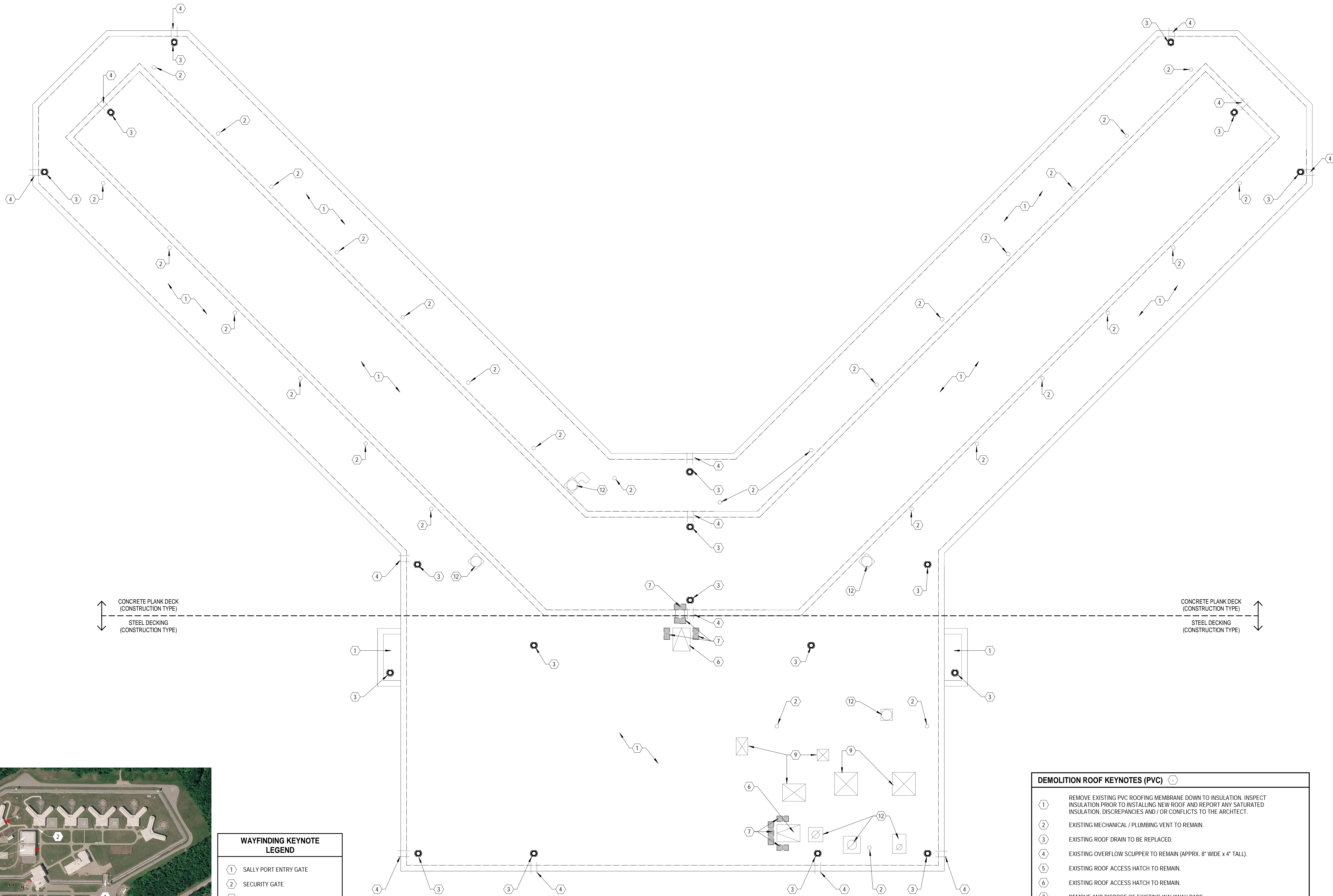
**ROOF REPLACEMENTS**  
FILE NO.: 472/25256.JBB  
MDOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

ISSUED FOR:	DATE:
50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

PROJECT NO.	DESIGNED BY:	DRAWN BY:	CHECKED:	APPROVED:
M12-06112	RWA	RWA	JHR	RWA

**300 BUILDING - ROOF DETAILS**

**A110**



**WAYFINDING KEYNOTE LEGEND**

1	SALLY PORT ENTRY GATE
2	SECURITY GATE
3	HOUSING UNIT 6 - SPRUCE
4	BUILDING 300 ROOFS

\* = APPROXIMATE LOCATION FOR BUILDING ACCESS LOCATIONS DURING CONSTRUCTION

**DEMOLITION ROOF KEYNOTES (PVC)**

1	REMOVE EXISTING PVC ROOFING MEMBRANE DOWN TO INSULATION. INSPECT INSULATION PRIOR TO INSTALLING NEW ROOF AND REPORT ANY SATURATED INSULATION, DISCREPANCIES AND / OR CONFLICTS TO THE ARCHITECT.
2	EXISTING MECHANICAL / PLUMBING VENT TO REMAIN.
3	EXISTING ROOF DRAIN TO BE REPLACED.
4	EXISTING OVERFLOW SCUPPER TO REMAIN (APPRX. 8" WIDE x 4" TALL).
5	EXISTING ROOF ACCESS HATCH TO REMAIN.
6	EXISTING ROOF ACCESS HATCH TO REMAIN.
7	REMOVE AND DISPOSE OF EXISTING WALKWAY PADS.
8	EXISTING PARAPET MOUNTED ELECTRICAL CONDUIT (FOR FUTURE CAMERA) TO REMAIN.
9	EXISTING ROOF VENTILATOR UNIT w/ CURB TO REMAIN.
10	EXISTING HVAC SUPPORT CURBS TO REMAIN.
11	EXISTING MECHANICAL UNIT w/ CURB TO REMAIN.
12	EXISTING EXHAUST VENT w/ CURB TO REMAIN.

WAYFINDING MAP  
NO SCALE

A1 DEMOLITION ROOF PLAN  
1/8" = 1'-0"



**ROOF REPLACEMENTS**  
FILE NO.: 472/25266-JBB  
DOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

**ISSUED FOR:**

50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

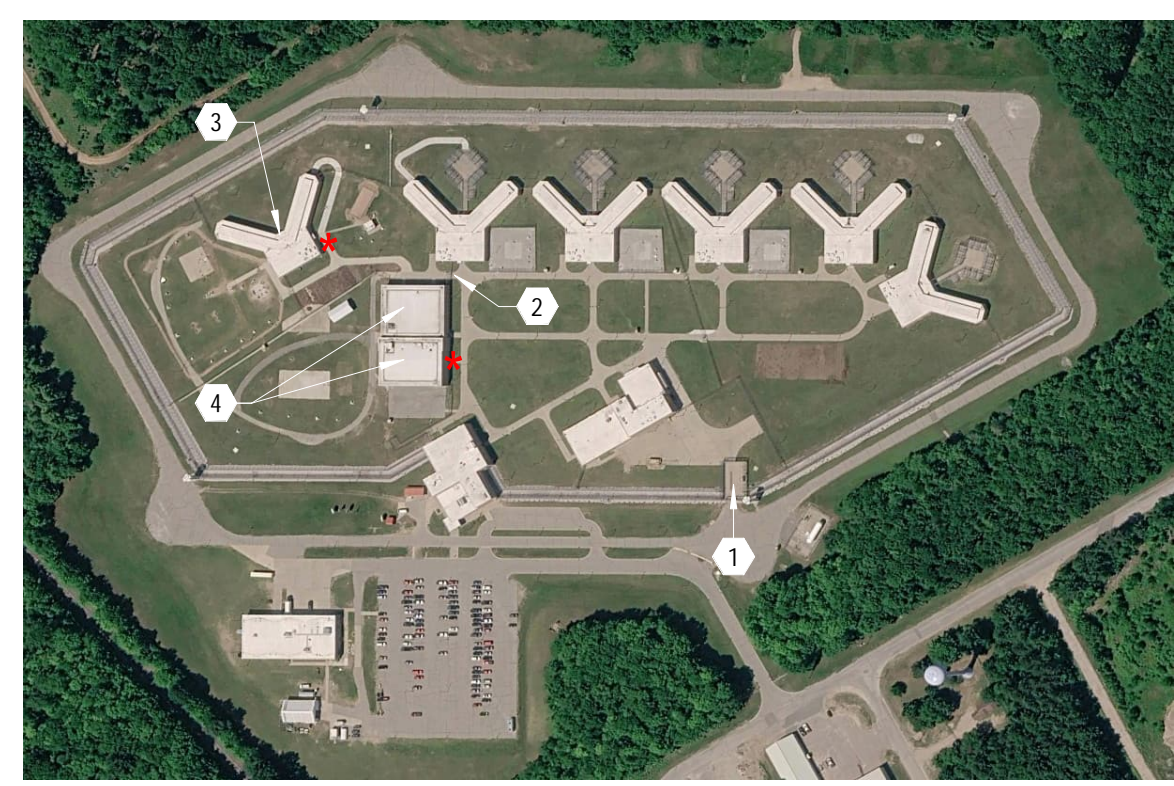
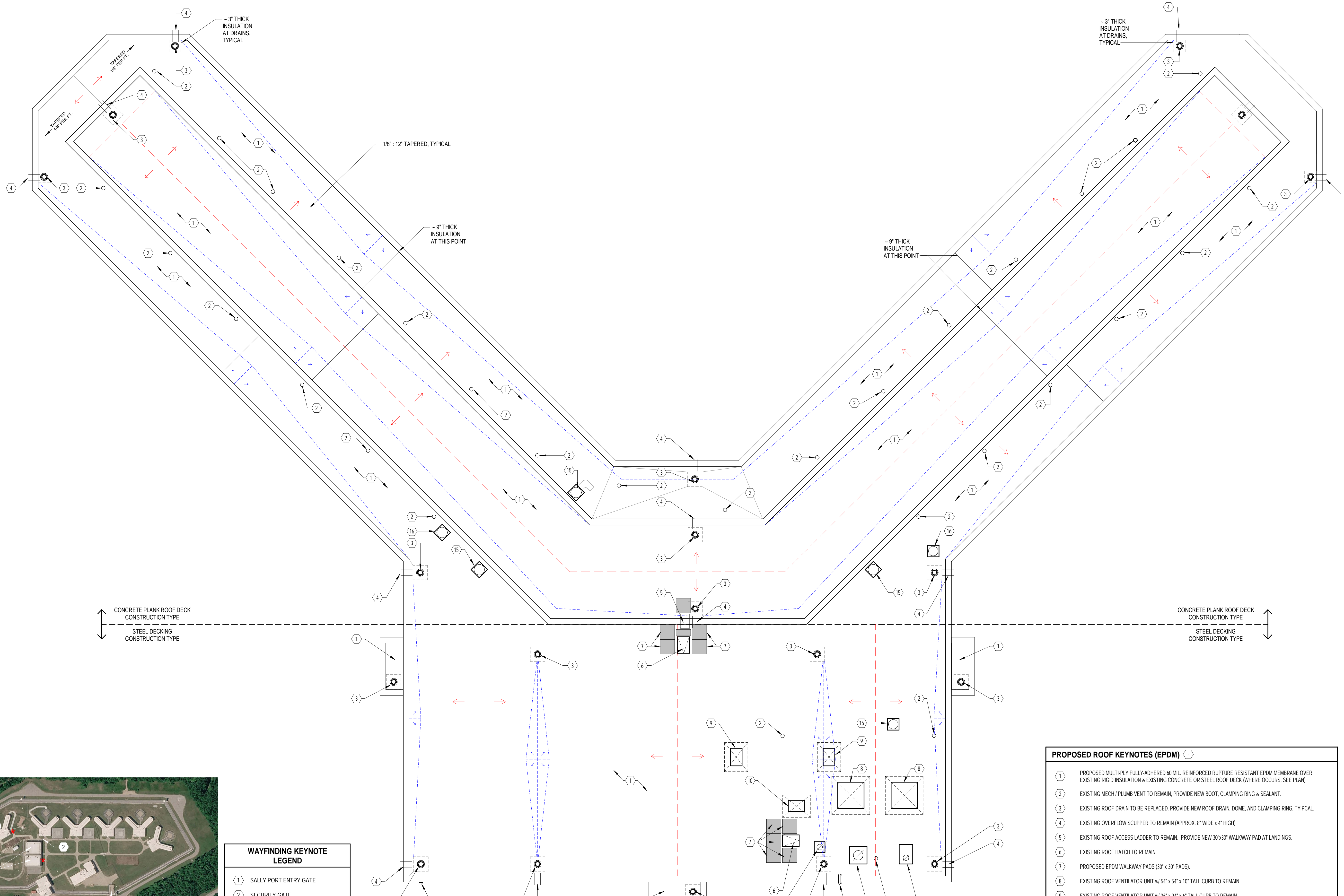
**ROOF REPLACEMENTS**  
DOC / ALGER CORRECTIONAL FACILITY

PROJECT NO:	M12-06112	DESIGNED BY:	RWA
		DRAWN BY:	RWA
		CHECKED:	JHR
		APPROVED:	RWA

**SPRUCE HOUSING UNIT - DEMOLITION ROOF PLAN**

A200



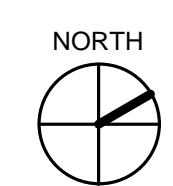


WAYFINDING KEYNOTE LEGEND	
①	SALLY PORT ENTRY GATE
②	SECURITY GATE
③	HOUSING UNIT 6 - SPRUCE
④	BUILDING 300 ROOFS
* = APPROXIMATE LOCATION FOR BUILDING ACCESS LOCATIONS DURING CONSTRUCTION	

PROPOSED ROOF KEYNOTES (EPDM)	
①	PROPOSED MULTI-PLY FULLY-ADHERED 60 MIL REINFORCED RUPTURE RESISTANT EPDM MEMBRANE OVER EXISTING RIGID INSULATION & EXISTING CONCRETE OR STEEL ROOF DECK (WHERE OCCURS, SEE PLAN).
②	EXISTING MECH / PLUMB VENT TO REMAIN. PROVIDE NEW BOOT, CLAMPING RING & SEALANT.
③	EXISTING ROOF DRAIN TO BE REPLACED. PROVIDE NEW ROOF DRAIN, DOME, AND CLAMPING RING, TYPICAL.
④	EXISTING OVERFLOW SCUPPER TO REMAIN (APPROX. 8" WIDE x 4" HIGH).
⑤	EXISTING ROOF ACCESS LADDER TO REMAIN. PROVIDE NEW 30"x30" WALKWAY PAD AT LANDINGS.
⑥	EXISTING ROOF HATCH TO REMAIN.
⑦	PROPOSED EPDM WALKWAY PADS (30" x 30" PADS).
⑧	EXISTING ROOF VENTILATOR UNIT w/ 54" x 54" x 10" TALL CURB TO REMAIN.
⑨	EXISTING ROOF VENTILATOR UNIT w/ 36" x 24" x 6" TALL CURB TO REMAIN.
⑩	EXISTING ROOF VENTILATOR UNIT w/ 34" x 22" x 9" TALL CURB TO REMAIN.
⑪	EXISTING EXHAUST VENT w/ 40" x 28" 10" TALL CURB TO REMAIN.
⑫	EXISTING EXHAUST VENT w/ 31" x 31" 12" TALL CURB TO REMAIN.
⑬	ONE (1) EXISTING 3/4" Ø CONDUIT & ONE (1) 7/8" Ø WALL MOUNTED METAL CONDUIT TO REMAIN. EXISTING CONDUIT SHALL REMAIN ACTIVE & UNDISTURBED DURING THE RE-ROOFING PROCESS.
⑭	TWO (2) EXISTING 1" Ø ELEC. CONDUIT & ONE (1) 2-1/2" Ø ELEC. CONDUIT FOR SECURITY CAMERAS TO REMAIN. EXISTING CAMERAS SHALL REMAIN OPERATIONAL DURING THE RE-ROOFING PROCESS.
⑮	EXISTING EXHAUST FAN w/ 20" x 20" x 19" TALL CURB TO REMAIN.
⑯	EXISTING EXHAUST FAN w/ 19" x 19" x 24" TALL CURB TO REMAIN.

**WAYFINDING MAP**  
NO SCALE

**A1 PROPOSED ROOF PLAN**  
1/8" = 1'-0"



**ROOF REPLACEMENTS**  
FILE NO.: 472/25266-JBB  
DOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

ISSUED FOR:	DATE:
50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

ROOF REPLACEMENTS	
DOC / ALGER CORRECTIONAL FACILITY	PROJECT NO.: M12-06112
DESIGNED BY: RWA	DRAWN BY: RWA
CHECKED: JHR	APPROVED: RWA

**SPRUCE HOUSING UNIT - PROPOSED ROOF PLAN**

**A201**

1

2

3

4

5

D

C

B

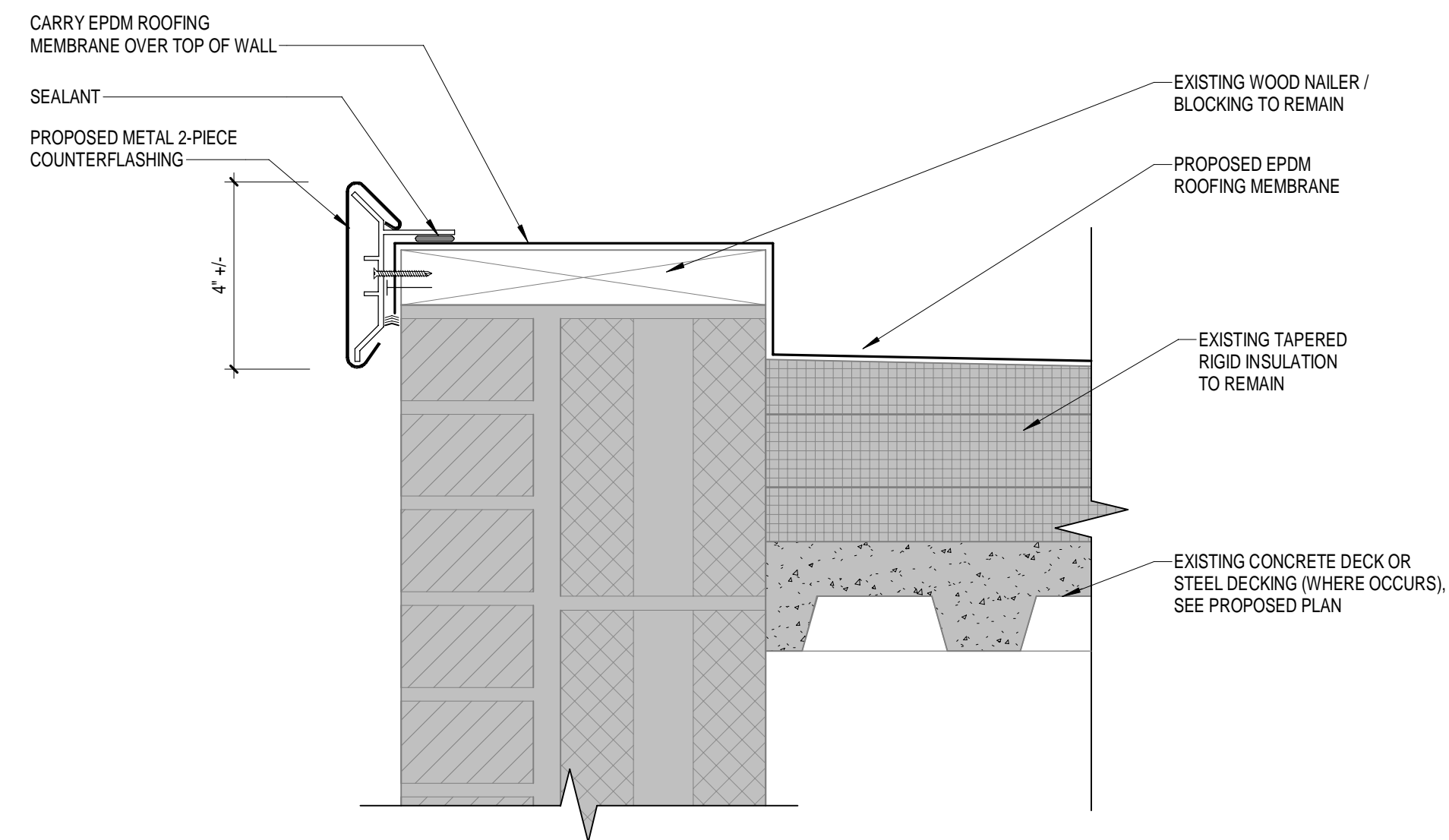
A

D

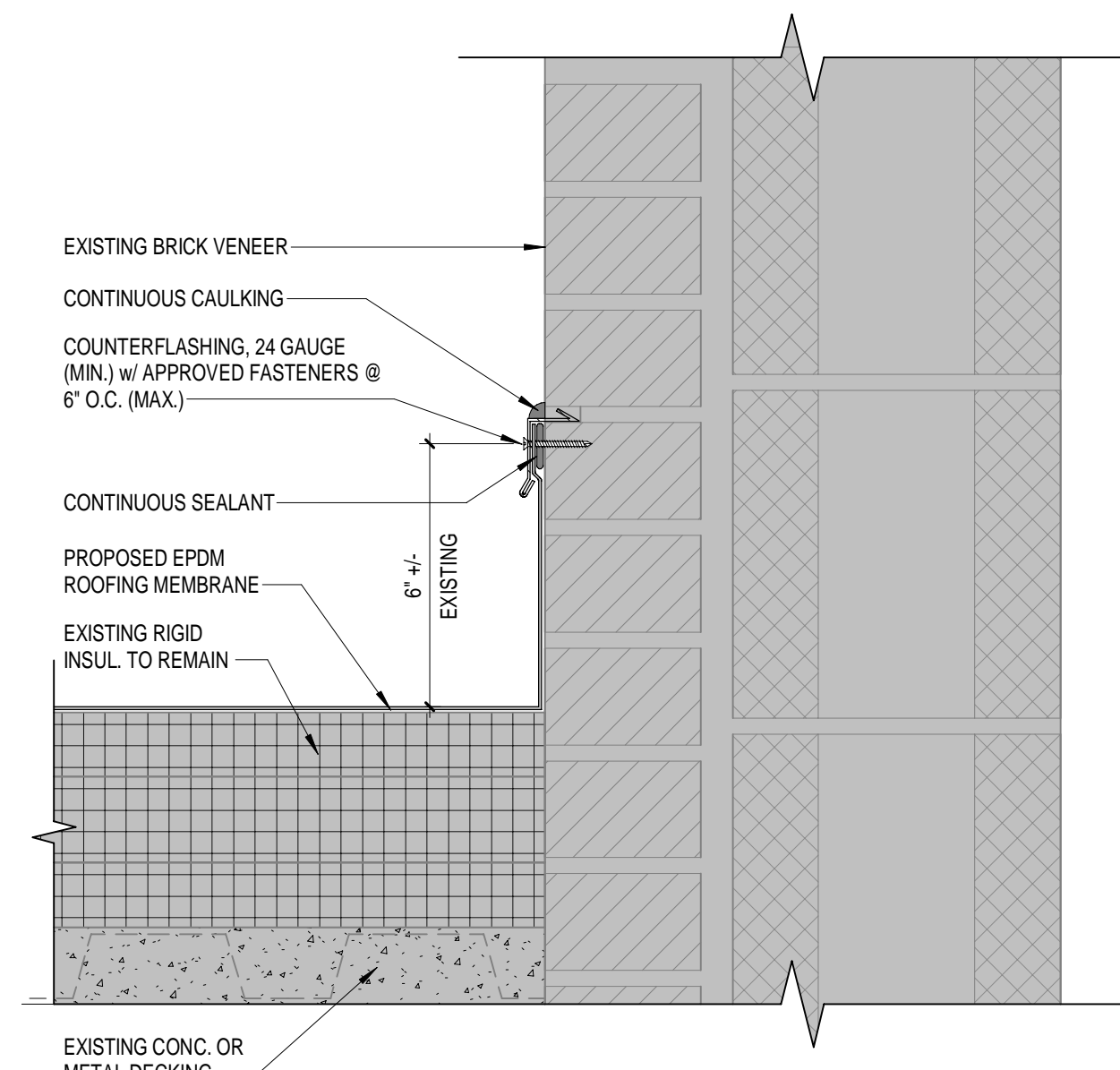
C

B

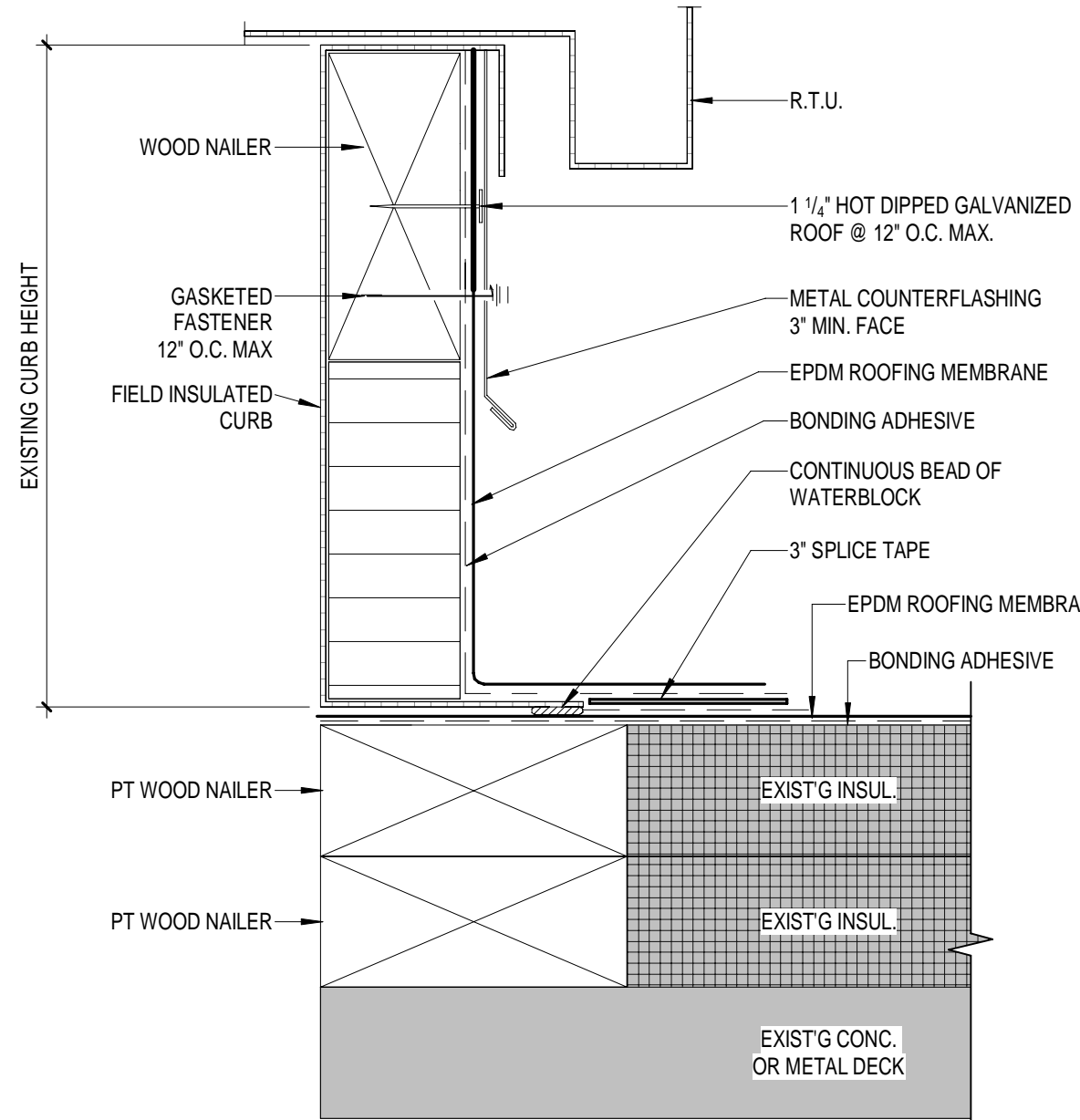
A



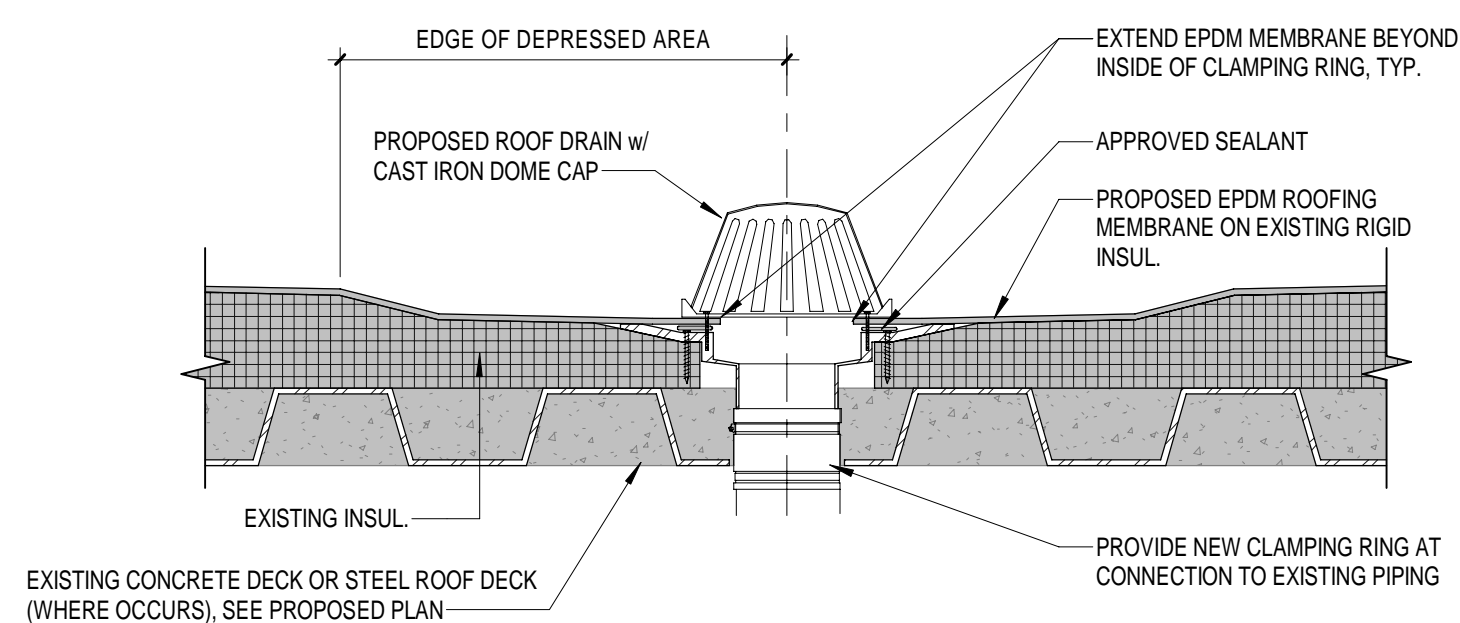
**B2** TYPICAL PARAPET DETAIL  
3" = 1'-0"



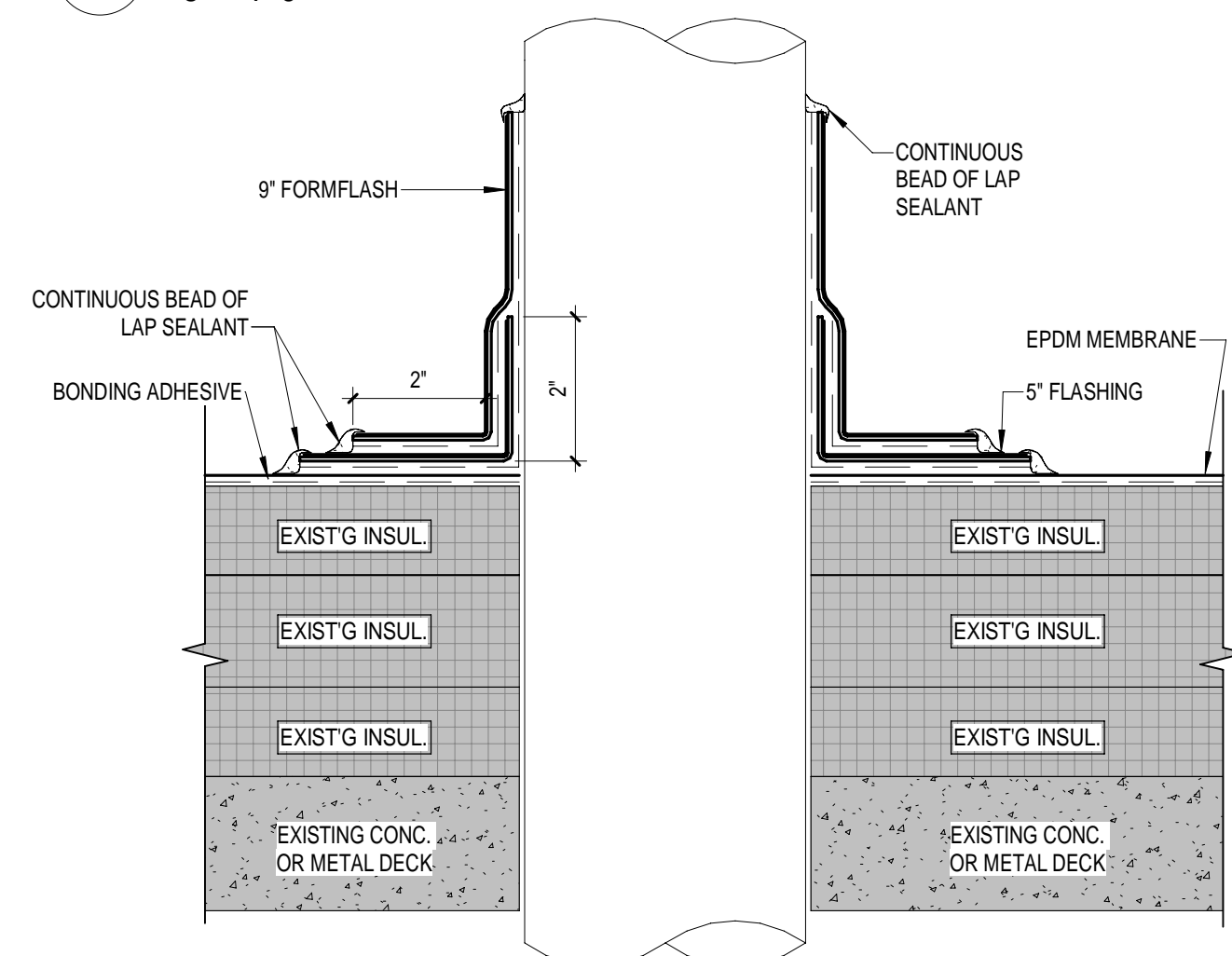
**C3** SECTION @ REGLET  
3" = 1'-0"



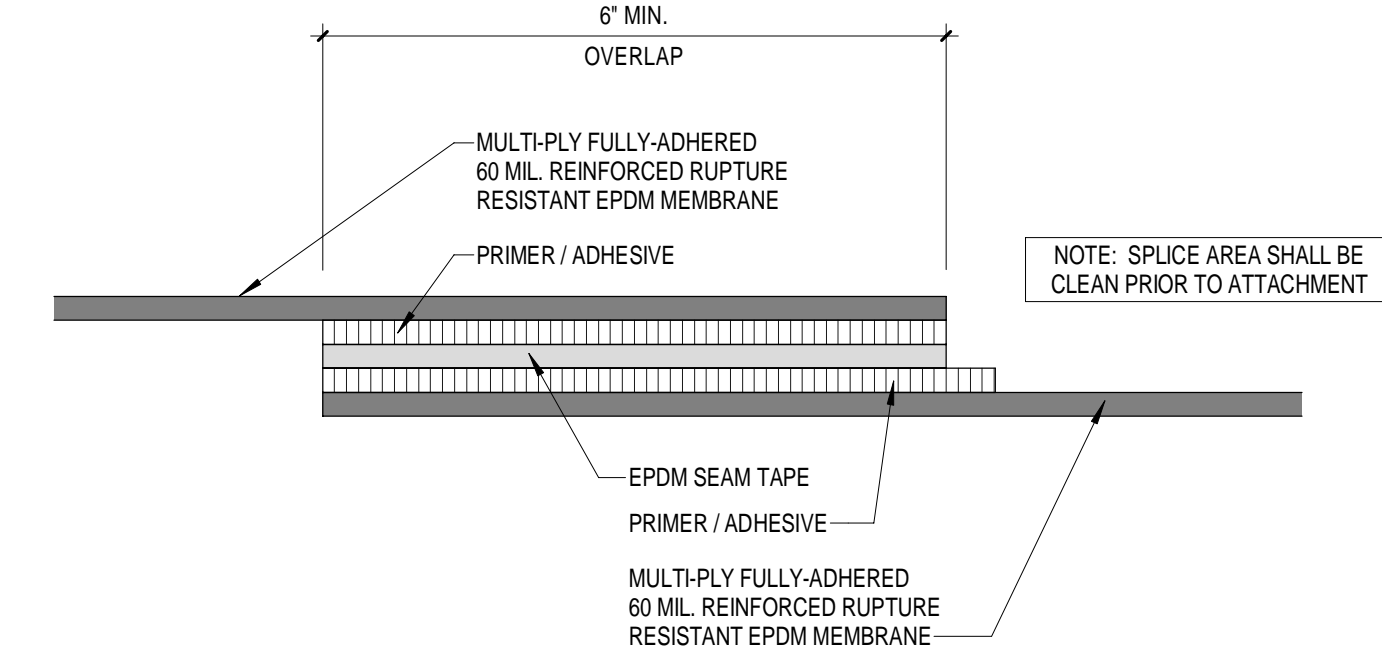
**B3** TYPICAL ROOF CURB DETAIL  
6" = 1'-0"



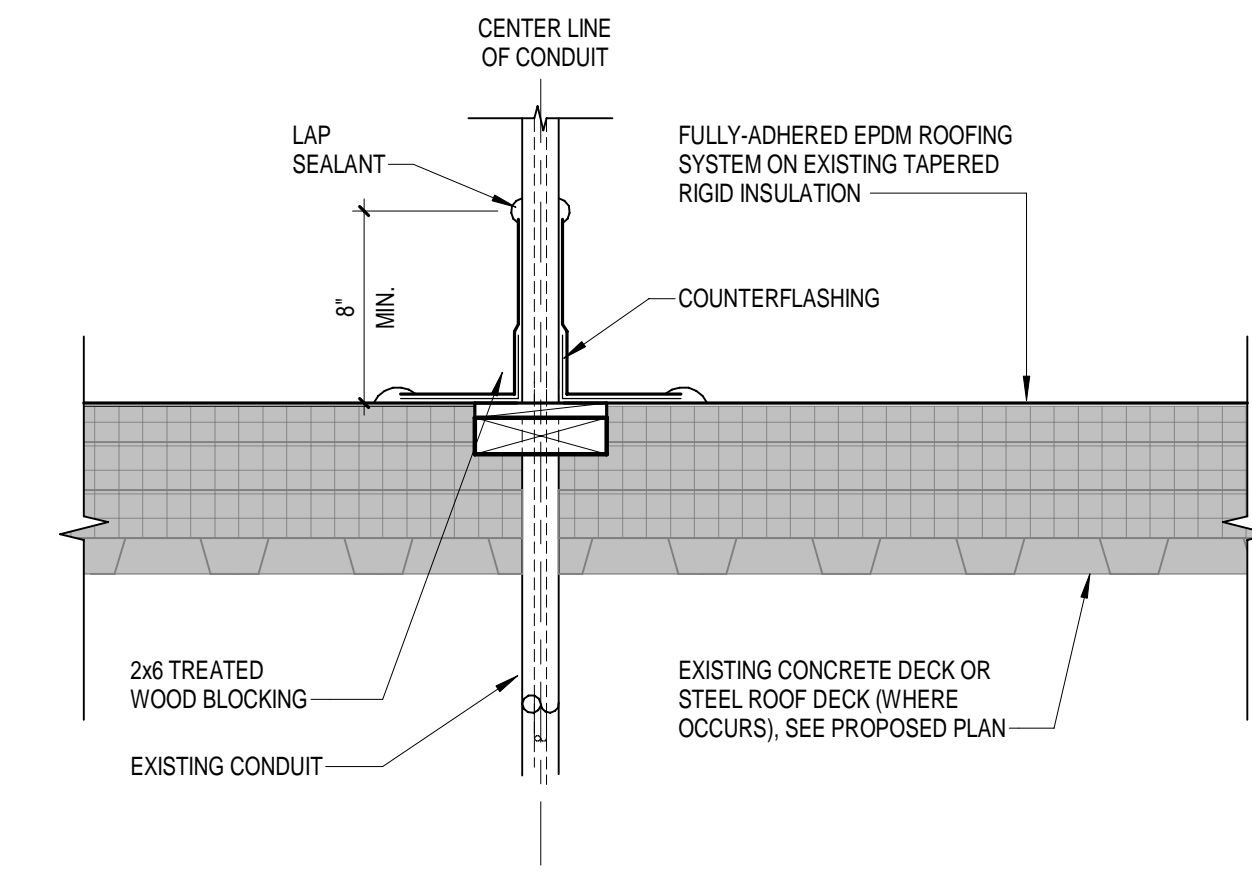
**A2** SECTION @ ROOF DRAIN  
3" = 1'-0"



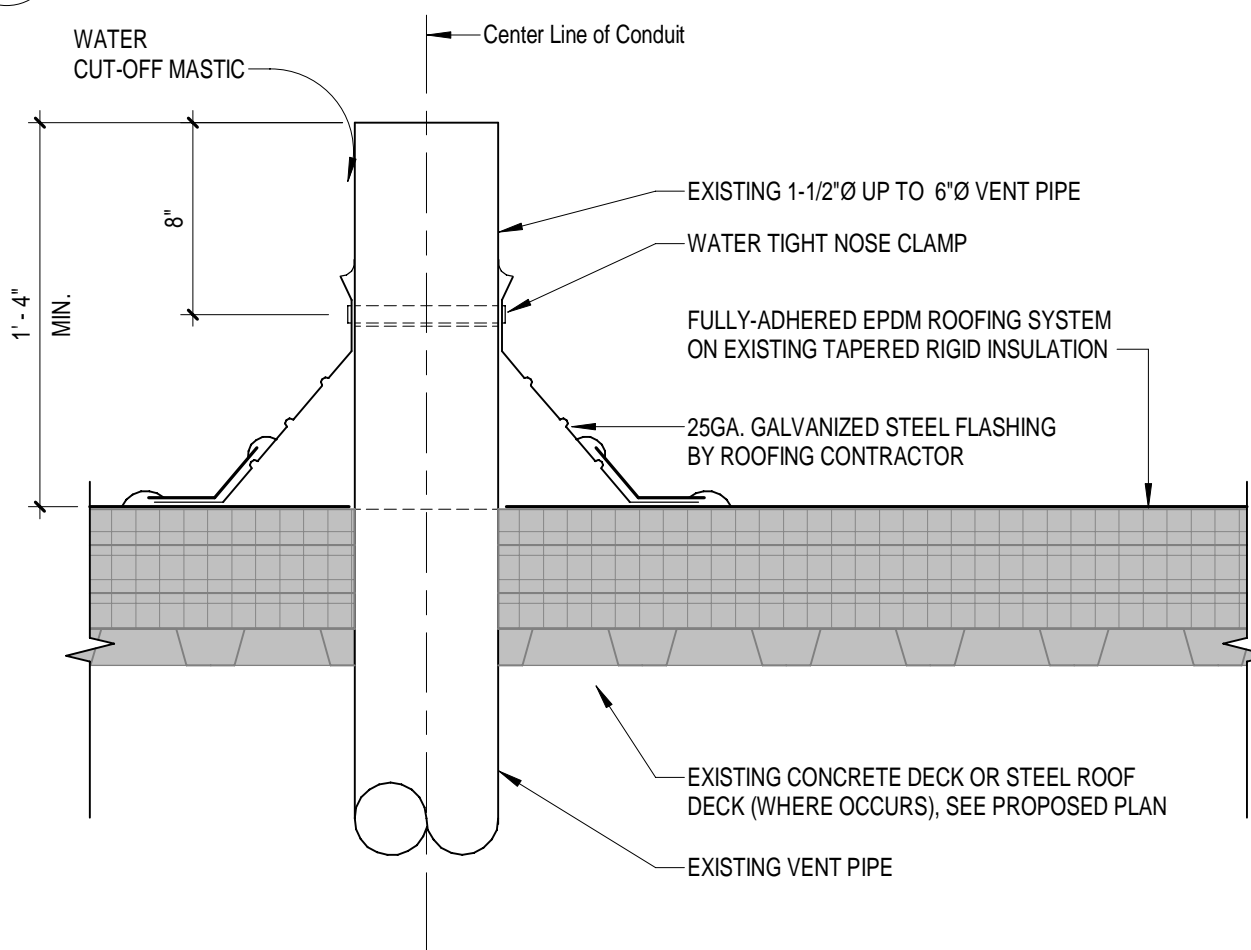
**A3** TYPICAL VENT THROUGH ROOF DETAIL  
6" = 1'-0"



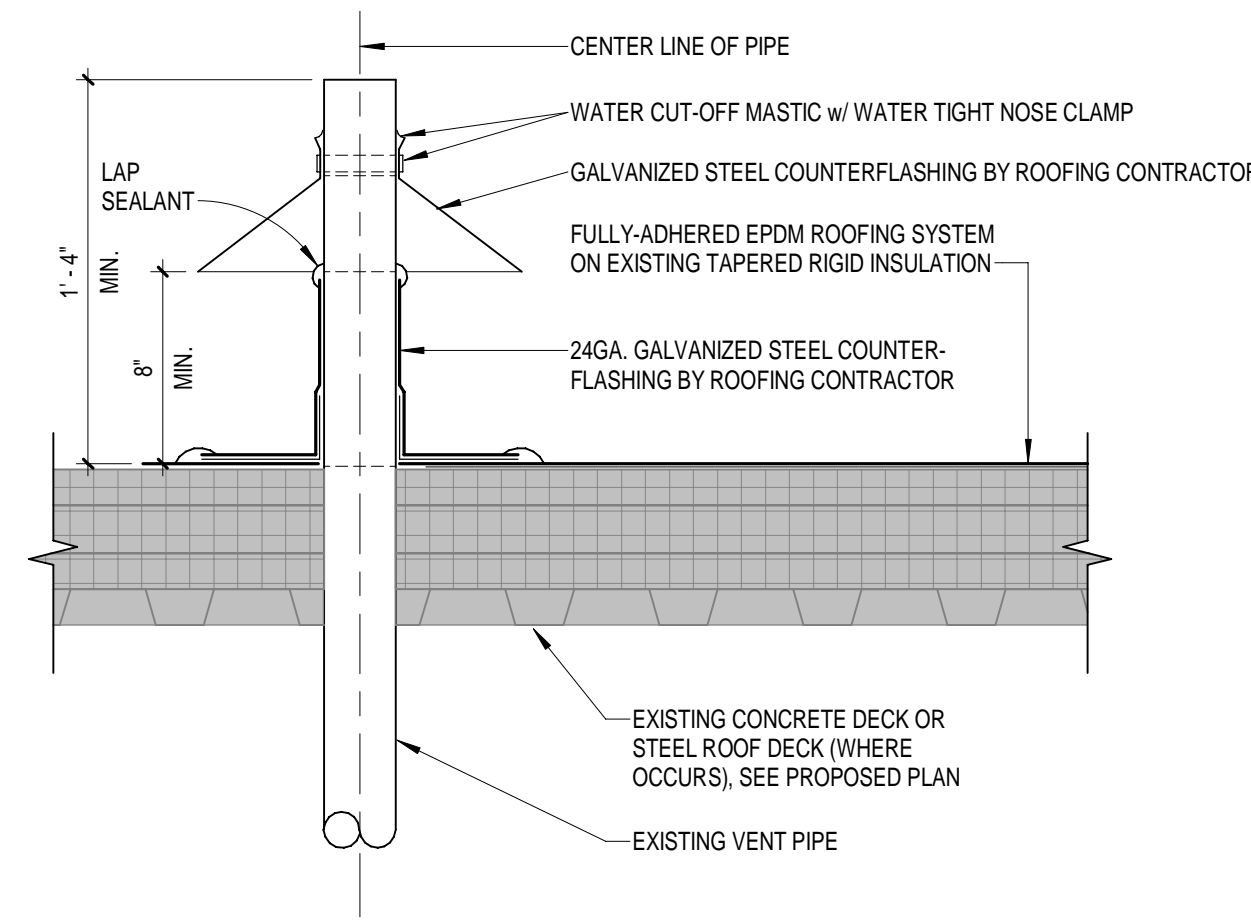
**D5** EPDM SEAM DETAIL  
6" = 1'-0"



**C5** ROOF CONDUIT PENETRATION DETAIL  
1 1/2" = 1'-0"



**B5** ROOF DETAIL @ LARGE VENT PIPE  
1 1/2" = 1'-0"



**A5** ROOF DETAIL @ SMALL VENT PIPE  
1 1/2" = 1'-0"



**ROOF REPLACEMENTS**  
FILE NO.: 472/25266.JBB  
DOC / ALGER CORRECTIONAL FACILITY  
INDUSTRIAL PARK DRIVE, WETMORE, MI 49895

ISSUED FOR:	DATE:
50% OWNER REVIEW	12/18/2025
90% OWNER REVIEW	02/06/2026
100% OWNER REVIEW	02/27/2026
LARA REVIEW	02/27/2026
BIDDING	03/20/2026

ROOF REPLACEMENTS	PROJECT NO.	DESIGNED BY:	DRAWN BY:	CHECKED:	APPROVED:
DOC / ALGER CORRECTIONAL FACILITY	M12-06112	RWA	RWA	JHR	RWA

**SPRUCE HOUSING UNIT - ROOF DETAILS**

**A210**